

DEVELOPMENT CRITERIA		VR
RESIDENTIAL DENSITY (NET DU/AC***)	104 SFU MAX.	MAX. 6
MAX BUILDING HEIGHT*		35'
MINIMUM FLOOR AREA (SF)		400
ACCESSORY APARTMENTS		400
SINGLE FAMILY		
MINIMUM LOT SIZE		4,000 SF
MINIMUM LOT WIDTH		40'
SETBACKS**		
FRONT:	BUILDING	20'
	PORCH (MIN. HALF OF BLDG FRONTAGE IS PORCH***)	10'
	FRONT FACING GARAGE/CARPORT ALLEY FRONT YARDS	25'
	STREET SIDE/CORNER LOT SIDES (TYPICAL)	10'
	ZERO LOTS (ZERO SIDE/OTHER SIDE) PRIMARY STRUCTURE	5'
REAR:	REAR GARAGES OR ACCESSORY STRUCTURES****	10'
		5'
MAX LOT COVERAGE BY BUILDINGS		55%

LOT GRADING NOTES:

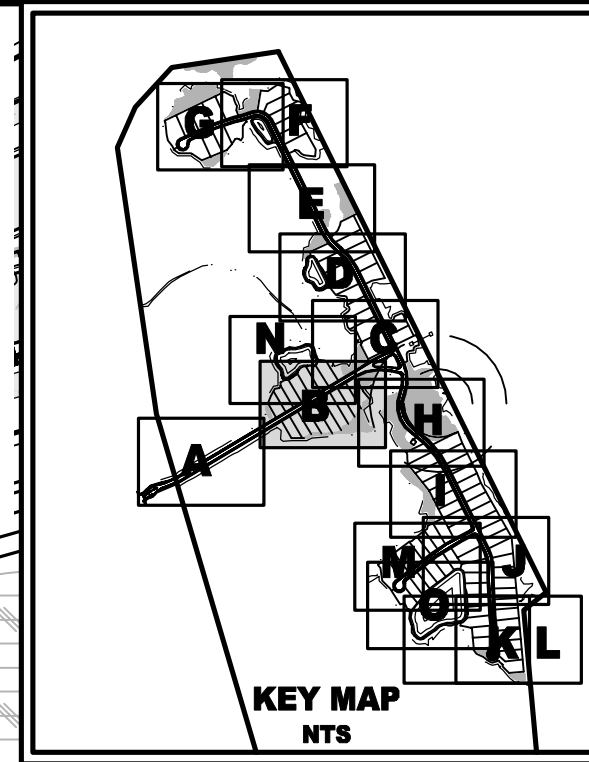
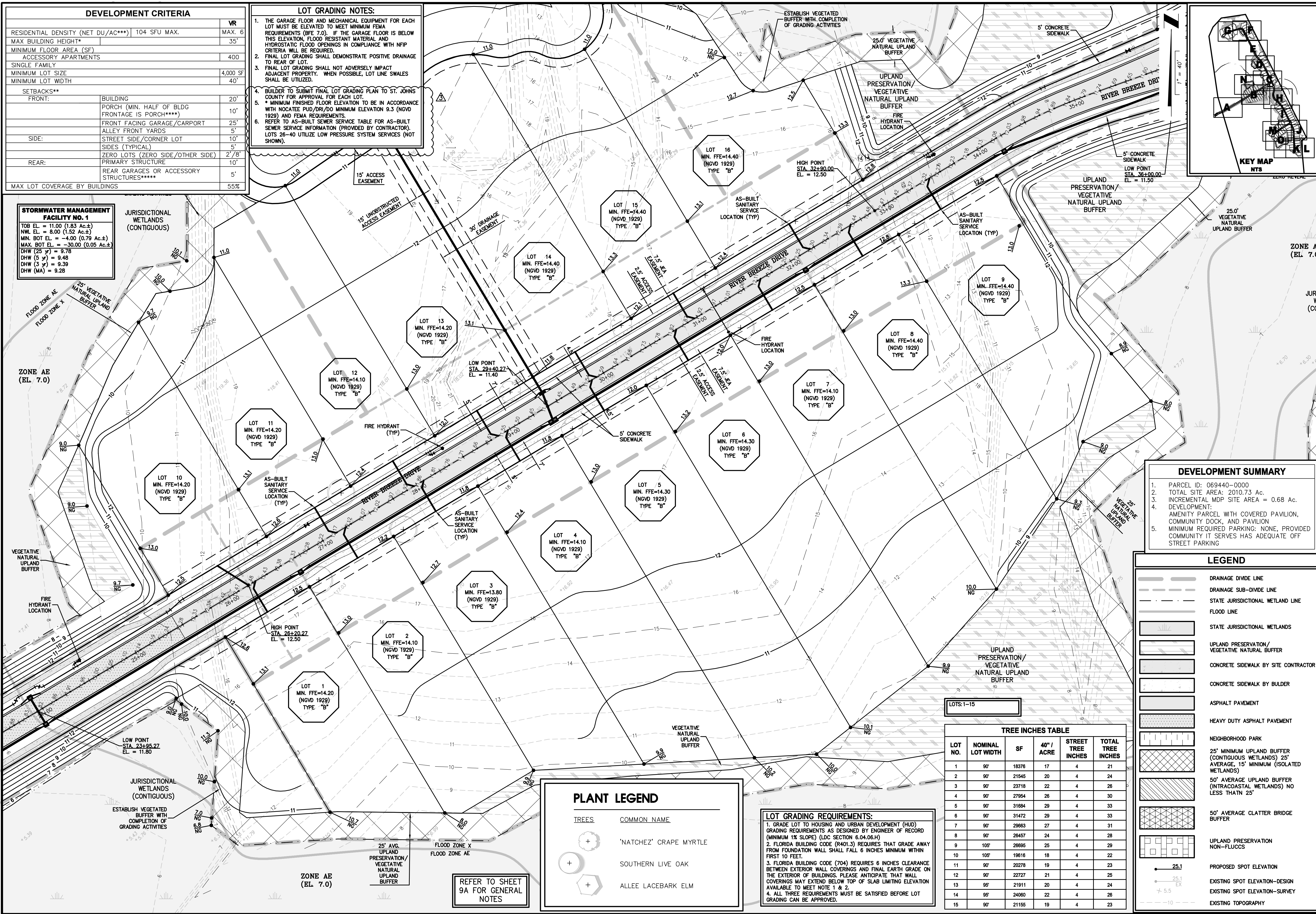
- THE GARAGE FLOOR AND MECHANICAL EQUIPMENT FOR EACH LOT MUST BE ELEVATED TO MEET MINIMUM FEMA REQUIREMENTS (DFE 7.0). IF THE GARAGE FLOOR IS BELOW THIS ELEVATION, FLOOD RESISTANT MATERIAL AND HYDROSTATIC FLOOD OPENINGS IN COMPLIANCE WITH NFIP CRITERIA WILL BE REQUIRED.
- FINAL LOT GRADING SHALL DEMONSTRATE POSITIVE DRAINAGE TO REAR OF LOT.
- FINAL LOT GRADING SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTY. WHEN POSSIBLE, LOT LINE SWALES SHALL BE UTILIZED.
- BUILDER TO SUBMIT FINAL LOT GRADING PLAN TO ST. JOHNS COUNTY FOR APPROVAL FOR EACH LOT.
- * MINIMUM FINISHED FLOOR ELEVATION TO BE IN ACCORDANCE WITH Nocatee PUD/DR/DI MINIMUM ELEVATION 9.3 (NGVD 1929) AND FEMA REQUIREMENTS.
- REFER TO AS-BUILT SEWER SERVICE TABLE FOR AS-BUILT SEWER SERVICE INFORMATION (PROVIDED BY CONTRACTOR). LOTS 26-40 UTILIZE LOW PRESSURE SYSTEM SERVICES (NOT SHOWN).

STORMWATER MANAGEMENT FACILITY NO. 1

TOP EL. = 11.00 (1.83 Ac.±)
 NW EL. = 8.00 (1.52 Ac.±)
 MIN. BOT EL. = -4.00 (0.79 Ac.±)
 MAX. BOT EL. = -30.00 (0.05 Ac.±)

DHW (25 yr) = 9.78
 DHW (5 yr) = 9.48
 DHW (3 yr) = 9.39
 DHW (MA) = 9.28

JURISDICTIONAL WETLANDS (CONTIGUOUS)



DEVELOPMENT SUMMARY

- PARCEL ID: 069440-0000
- TOTAL SITE AREA: 2010.73 Ac.
- INCREMENTAL MDP SITE AREA = 0.68 Ac.
- DEVELOPMENT: AMENITY PARCEL WITH COVERED PAVILION, COMMUNITY DOCK, AND PAVILION
- MINIMUM REQUIRED PARKING: NONE, PROVIDED COMMUNITY IT SERVES HAS ADEQUATE OFF STREET PARKING

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- STATE JURISDICTIONAL WETLAND LINE
- FLOOD LINE
- STATE JURISDICTIONAL WETLANDS
- UPLAND PRESERVATION/VEGETATIVE NATURAL BUFFER
- CONCRETE SIDEWALK BY SITE CONTRACTOR
- CONCRETE SIDEWALK BY BULDER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- NEIGHBORHOOD PARK
- 25' MINIMUM UPLAND BUFFER (CONTIGUOUS WETLANDS) 25' AVERAGE, 15' MINIMUM (ISOLATED WETLANDS)
- 50' AVERAGE UPLAND BUFFER (INTRACOASTAL WETLANDS) NO LESS THAN 25'
- 50' AVERAGE CLATTER BRIDGE BUFFER
- UPLAND PRESERVATION NON-FLUCCS
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION-DESIGN
- EXISTING SPOT ELEVATION-SURVEY
- EXISTING TOPOGRAPHY

TREE INCHES TABLE

LOT NO.	NOMINAL LOT WIDTH	SF	40' / ACRE	STREET TREE INCHES	TOTAL TREE INCHES
1	90'	18376	17	4	21
2	90'	21545	20	4	24
3	90'	23718	22	4	26
4	90'	27954	26	4	30
5	90'	31684	29	4	33
6	90'	31472	29	4	33
7	90'	29683	27	4	31
8	90'	26457	24	4	28
9	105'	26895	25	4	29
10	105'	19616	18	4	22
11	90'	20278	19	4	23
12	90'	22727	21	4	25
13	95'	21911	20	4	24
14	95'	24060	22	4	26
15	90'	21155	19	4	23

PLANT LEGEND

TREES	COMMON NAME
(Symbol)	'NATCHEZ' CRAPE MYRTLE
(Symbol)	SOUTHERN LIVE OAK
(Symbol)	ALLEE LACEBARK ELM

LOT GRADING REQUIREMENTS:

- GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.06.H)
- FLORIDA BUILDING CODE (R401.3) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
- FLORIDA BUILDING CODE (704) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE ANTICIPATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
- ALL TREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

REFER TO SHEET 9A FOR GENERAL NOTES

PLANS PREPARED UNDER THE DIRECTION OF:

EM NO. 18-155
 DRAWN BY: ESW
 DESIGNED BY: PPH
 CHECKED BY: PPH
 DATE: MARCH 2020

England, Thins & Miller, Inc.
 10000 Highway 100
 Jacksonville, FL 32258
 TEL: (904) 646-8990
 FAX: (904) 646-9485
 CA: 00002584 LC: 0000316

ETM
 VISION • EXPERIENCE • RESULTS

NEIGHBORHOOD SITE PLAN
RIVER LANDING (F.K.A. TMV PH6-HYDRY)
HYDRY COMPANY, LLC

DRAWING NUMBER
9B

PAUL P. HUTCHINSON, PE
 P.E. NUMBER: 93366
 PLOTTED: May 31, 2022 - 4:32 PM, BY: Beth Workins

LEGEND

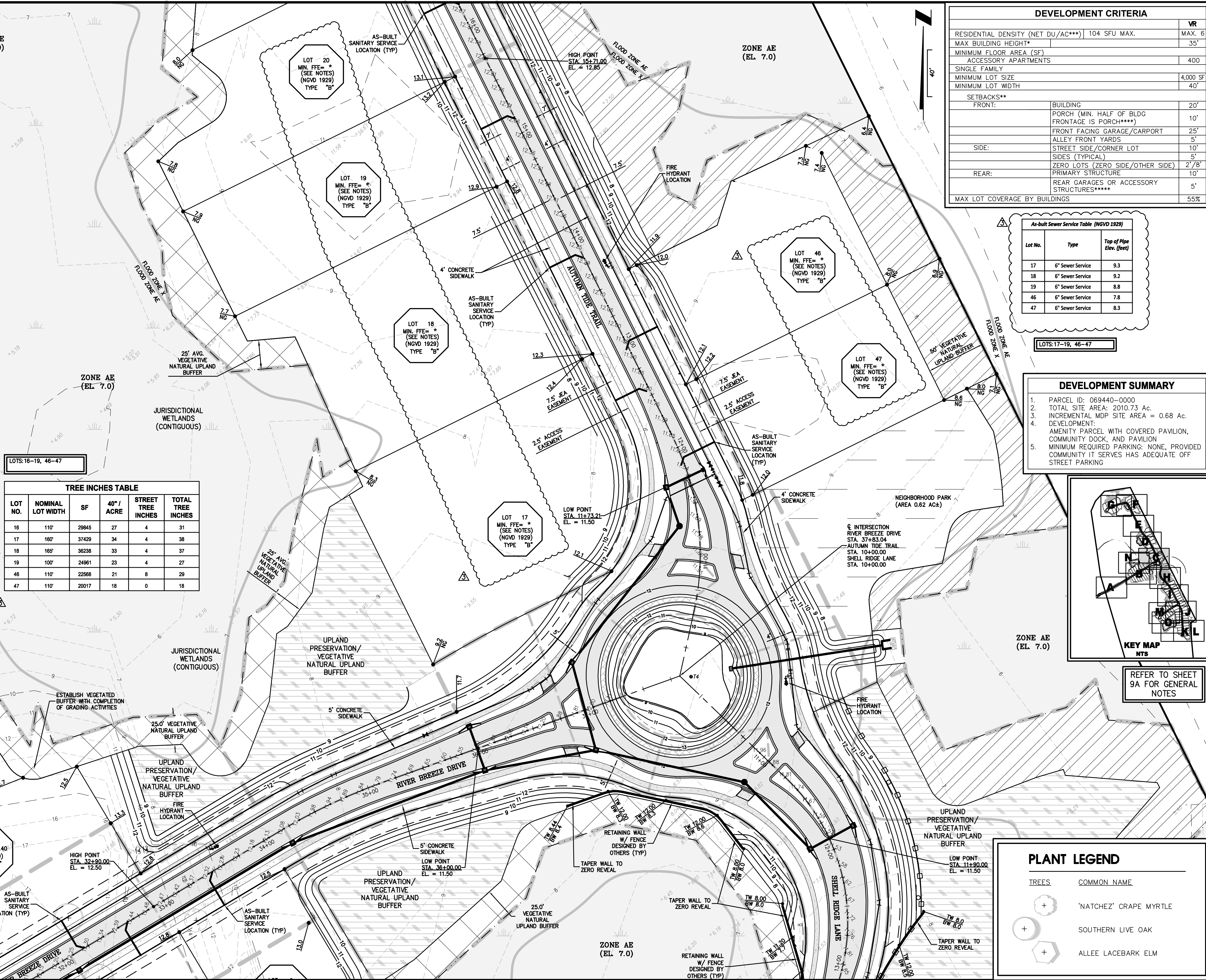
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- 25.1 PROPOSED SPOT ELEVATION
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- REFER TO AS-BUILT SEWER SERVICE TABLE FOR AS-BUILT SEWER SERVICE INFORMATION (PROVIDED BY CONTRACTOR). LOTS 26-40 UTILIZE LOW PRESSURE SYSTEM SERVICES (NOT SHOWN).



TREE INCHES TABLE

LOT NO.	NOMINAL LOT WIDTH	SF	40' / ACRE	STREET TREE INCHES	TOTAL TREE INCHES
16	110'	29845	27	4	31
17	160'	37429	34	4	38
18	165'	38238	33	4	37
19	100'	24961	23	4	27
46	110'	22568	21	8	29
47	110'	20017	18	0	18

DEVELOPMENT CRITERIA

	VR
RESIDENTIAL DENSITY (NET DU/AC***)	104 SFU MAX.
MAX BUILDING HEIGHT*	35'
MINIMUM FLOOR AREA (SF)	400
ACCESSORY APARTMENTS	400
SINGLE FAMILY	
MINIMUM LOT SIZE	4,000 SF
MINIMUM LOT WIDTH	40'
SETBACKS**	
FRONT:	BUILDING 20'
	PORCH (MIN. HALF OF BLDG FRONTAGE IS PORCH***) 10'
	FRONT FACING GARAGE/CARPORT 25'
	ALLEY FRONT YARDS 5'
SIDE:	STREET SIDE/CORNER LOT 10'
	SIDES (TYPICAL) 5'
REAR:	ZERO LOTS (ZERO SIDE/OTHER SIDE) 2/8'
	PRIMARY STRUCTURE 10'
	REAR GARAGES OR ACCESSORY STRUCTURES***** 5'
MAX LOT COVERAGE BY BUILDINGS	55%

As-built Sewer Service Table (NGVD 1929)

Lot No.	Type	Top of Pipe Elev. (feet)
17	6" Sewer Service	9.3
18	6" Sewer Service	9.2
19	6" Sewer Service	8.8
46	6" Sewer Service	7.8
47	6" Sewer Service	8.3

DEVELOPMENT SUMMARY

- PARCEL ID: 069440-0000
- TOTAL SITE AREA: 2010.73 Ac.
- INCREMENTAL MDP SITE AREA = 0.68 Ac.
- DEVELOPMENT: AMENITY PARCEL WITH COVERED PAVILION, COMMUNITY DOCK, AND PAVILION
- MINIMUM REQUIRED PARKING: NONE, PROVIDED COMMUNITY IT SERVES HAS ADEQUATE OFF STREET PARKING



PLANT LEGEND

TREES	COMMON NAME
	'NATCHEZ' GRAPE MYRTLE
	SOUTHERN LIVE OAK
	ALLEE LACEBARK ELM

REVISIONS:
4/21/2021 REVISED GRADING/ LOT BLOCKS/
ADDED NOTES/ REVISED TREE TABLE
5/20/2022 ADDED SEWER SERVICE TABLE,
ADDED AS-BUILT SEWER SERVICE LOCATIONS, UPDATED
GRADING NOTES, MIN. FFE FOR NON-FILL LOTS.

EM NO. 18-155
DRAWN BY: ESW
DESIGNED BY: PPH
CHECKED BY: PPH
DATE: MARCH 2020

Paul P. Hutchinson, PE
P.E. NUMBER: 93366

Englund-Thins & Miller, Inc.
10000 N. US Highway 1
Jacksonville, FL 32258
TEL: (904) 646-8980
FAX: (904) 646-9485
CA: 00002584 LC: 0000316

VISION • EXPERIENCE • RESULTS

NEIGHBORHOOD SITE PLAN
RIVER LANDING (F.K.A. TMV PH6-HYDRY)
HYDRY COMPANY, LLC

DRAWING NUMBER
9C

t:\2018\18-155_LandDev\Design\Plots\18-155-NG.dwg PLOTTED: May 31, 2022 - 4:32 PM, BY: Beth Watkins

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- STATE JURISDICTIONAL WETLAND LINE
- FLOOD LINE
- STATE JURISDICTIONAL WETLANDS
- UPLAND PRESERVATION/VEGETATIVE NATURAL BUFFER
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- 25.1 PROPOSED SPOT ELEVATION
- 25.1 EXISTING SPOT ELEVATION-DESIGN
- 5.5 EXISTING SPOT ELEVATION-SURVEY
- 10 EXISTING TOPOGRAPHY

REFER TO SHEET 9A FOR GENERAL NOTES

LOT GRADING REQUIREMENTS:

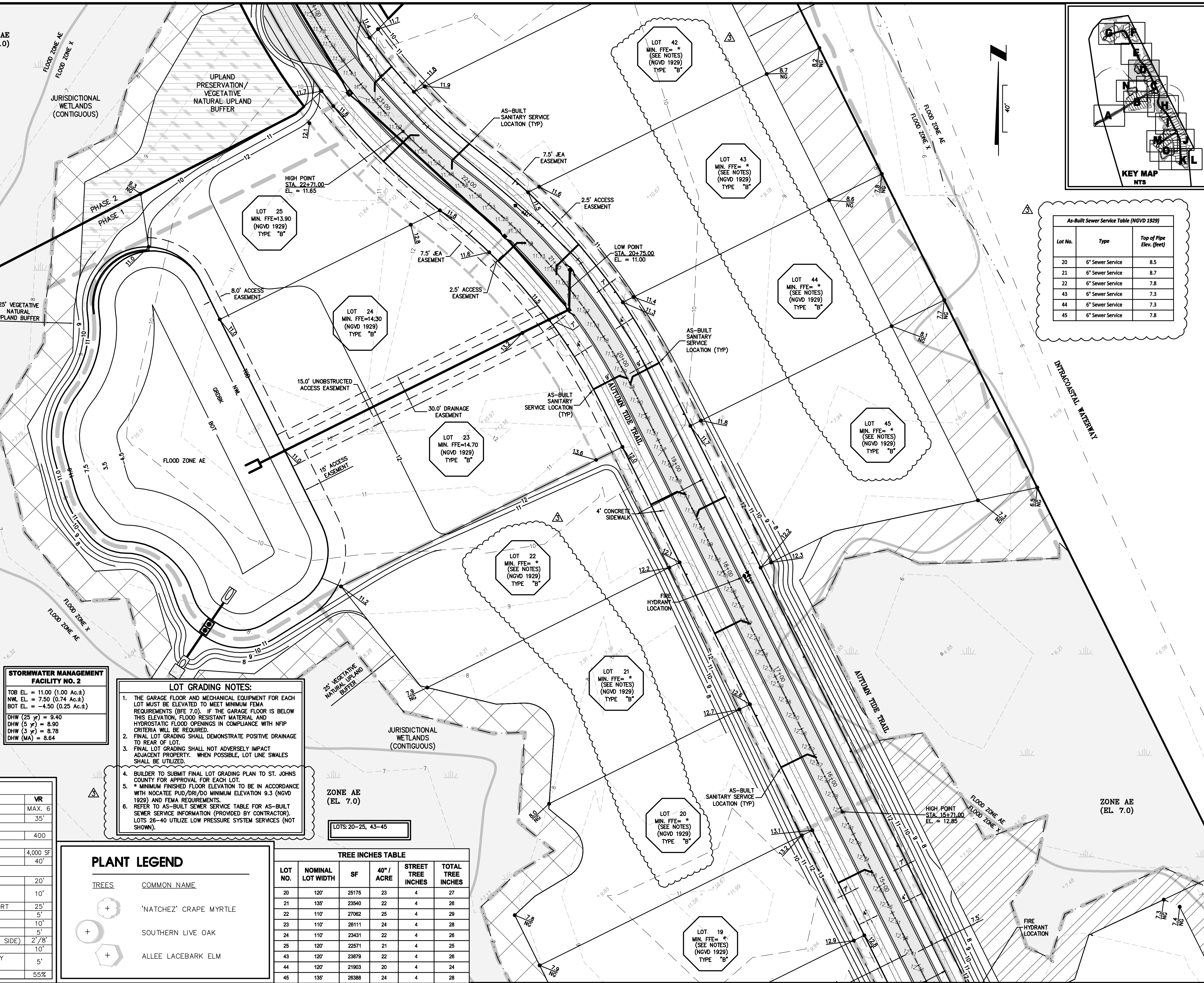
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DEVELOPMENT CRITERIA

	VR
RESIDENTIAL DENSITY (NET DU/AC)**	104 SFU MAX.
MAX BUILDING HEIGHT*	35'
MINIMUM FLOOR AREA (SF)	400
ACCESSORY APARTMENTS	400
SINGLE FAMILY	
MINIMUM LOT SIZE	4,000 SF
MINIMUM LOT WIDTH	40'
SETBACKS**	
FRONT:	
BUILDING	20'
PORCH (MIN. HALF OF BLDG FRONTAGE IS PORCH***)	10'
FRONT FACING GARAGE/CARPORT	25'
ALLEY FRONT YARDS	5'
SIDE:	
STREET SIDE/CORNER LOT	10'
SIDES (TYPICAL)	5'
ZERO LOTS (ZERO SIDE/OTHER SIDE)	2'/8'
REAR:	
PRIMARY STRUCTURE	10'
REAR GARAGES OR ACCESSORY STRUCTURES****	5'
MAX LOT COVERAGE BY BUILDINGS	55%



STORMWATER MANAGEMENT FACILITY NO. 2

TOB EL. = 11.00 (1.00 Ac.±)
 NWL EL. = 7.50 (0.74 Ac.±)
 BOT EL. = -4.50 (0.25 Ac.±)

DHW (25 yr) = 9.40
 DHW (5 yr) = 8.90
 DHW (3 yr) = 8.78
 DHW (MA) = 8.64

LOT GRADING NOTES:

- THE GARAGE FLOOR AND MECHANICAL EQUIPMENT FOR EACH LOT MUST BE ELEVATED TO MEET MINIMUM FEMA REQUIREMENTS (BFE 7.0). IF THE GARAGE FLOOR IS BELOW THIS ELEVATION, FLOOD RESISTANT MATERIAL AND HYDROSTATIC FLOOD OPENINGS IN COMPLIANCE WITH NFIP CRITERIA WILL BE REQUIRED.
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- * MINIMUM FINISHED FLOOR ELEVATION TO BE IN ACCORDANCE WITH Nocatee PUD/DRI/DO MINIMUM ELEVATION 9.3 (NGVD 1929) AND FEMA REQUIREMENTS.
- REFER TO AS-BUILT SEWER SERVICE TABLE (PROVIDED BY CONTRACTOR). LOTS 26-40 UTILIZE LOW PRESSURE SYSTEM SERVICES (NOT SHOWN).

PLANT LEGEND

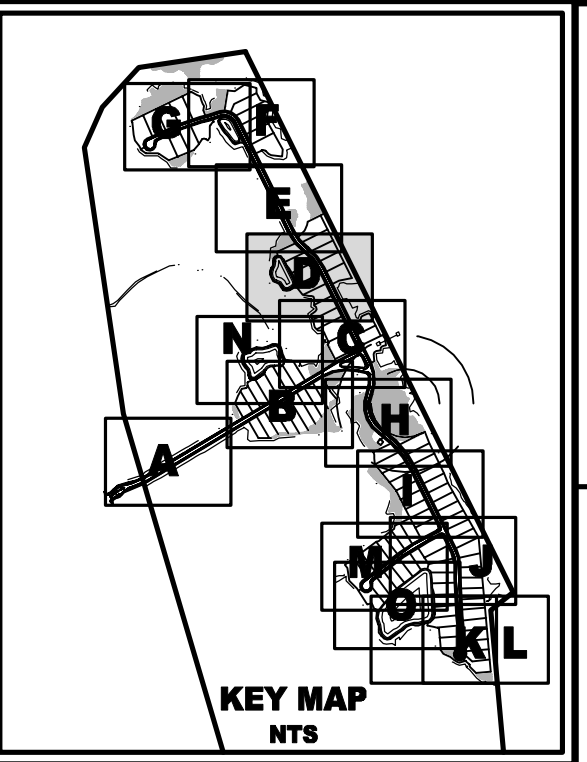
TREES	COMMON NAME
	NATCHEZ' GRAPE MYRTLE
	SOUTHERN LIVE OAK
	ALLEE LACEBARK ELM

TREE INCHES TABLE

LOT NO.	NOMINAL LOT WIDTH	SF	40"/ACRE	STREET TREE INCHES	TOTAL TREE INCHES
20	120'	25175	23	4	27
21	135'	23540	22	4	26
22	110'	27082	25	4	29
23	110'	26111	24	4	28
24	110'	23431	22	4	26
25	120'	22571	21	4	25
43	120'	23879	22	4	26
44	120'	21903	20	4	24
45	135'	26368	24	4	28

As-Built Sewer Service Table (NGVD 1929)

Lot No.	Type	Top of Pipe Elev. (feet)
20	6" Sewer Service	8.5
21	6" Sewer Service	8.7
22	6" Sewer Service	7.8
43	6" Sewer Service	7.3
44	6" Sewer Service	7.3
45	6" Sewer Service	7.8



PLANS PREPARED UNDER THE DIRECTION OF:

EM NO. 18-155

DRAWN BY: ESW

DESIGNED BY: PPH

CHECKED BY: PPH

DATE: MARCH 2020

PAUL P. HUTCHINSON, PE
P.E. NUMBER: 59366

PLOTTED: May 31, 2022 - 4:33 PM, BY: Beth Watkins

REVISIONS:

- 4/21/2021 REVISED GRADING/ LOT BLOCKS/ ADDED NOTES/ REVISED TREE TABLE/ ADDED PHASE LINE
- 5/20/2022 ADDED SEWER SERVICE TABLE, UPDATED GRADING NOTES, MIN. FFE FOR NON-FILL LOTS

England-Thins & Miller, Inc.
10000 N. US Highway 1
Jacksonville, FL 32258
TEL: (904) 642-8890
FAX: (904) 642-8485
CA: 00002584 LC: 0000316

ETM

VISION • EXPERIENCE • RESULTS

NEIGHBORHOOD SITE PLAN

RIVER LANDING (F.K.A. TMV PH6-HYDRY)

HYDRY COMPANY, LLC

DRAWING NUMBER

9D

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GENERAL NOTES:

- ALL PROPOSED CORNER ELEVATIONS SHALL BE AS FOLLOWS:
 - BACK CORNER LOT ELEVATIONS ARE AT NATURAL GROUND UNLESS OTHERWISE NOTED OR WHERE FILLING IS REQUIRED TO OBTAIN 1% SLOPE.
- CONTRACTOR TO REMOVE UNSUITABLE MATERIAL UNDER HOUSE PADS IN ACCORDANCE WITH SOILS REPORT.
- ELEVATIONS FROM THE MIDPOINT ON THE HIGH SIDE OF EACH LOT SHALL BE FROM FINISHED GRADE (TOP OF SOD ELEVATION).
- MINIMUM FINISHED FLOOR ELEVATIONS DETERMINED BY 1 FOOT PLUS 0.1" LENGTH SIDING EXTENDS BELOW FINISHED FLOOR. IF SIDING LENGTH EXTENDS GREATER THAN 0.1' BELOW FINISHED FLOOR, ADJUST FINISHED FLOOR ELEVATION UP ACCORDINGLY.
- ANY LOT FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING ONE FOOT AND COMPACTED TO A MINIMUM DRY DENSITY OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180).
- REFER TO LANDSCAPE SHEETS FOR MINIMUM LOT PLANTING AND REQUIRED PUD PLANTING.
- REFER TO ARCHITECTURAL/ STRUCTURAL DRAWINGS FOR BUILDING STEM WALL DESIGN/ DETAILS.
- NO PERMANENT STRUCTURE (I.E. BUILDING, ETC.) CAN BE PLACED WITHIN THE AREA BETWEEN THE RETAINING WALL AND DEMARCATION LINE. REFER TO STRUCTURAL PLANS FOR EXTENT OF REINFORCEMENT AND FINAL DEMARCATION LINE LOCATION.
- CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN FOR ALL RETAINING WALLS FROM A LICENSED STRUCTURAL ENGINEER IN THE STATE OF FLORIDA.
- CONTRACTOR SHALL OBTAIN ALL PERMITS ASSOCIATED WITH RETAINING WALL. CONTRACTOR TO COORDINATE LOCATION PRIOR TO CONSTRUCTION. STRUCTURAL DESIGN TO BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
- FINISHED BUILDING PAD EARTH GRADES TO BE THE FOUNDATION THICKNESS BELOW THE FOUNDATION FORM BOARDS.
- SEE SHEET NUMBER 2 FOR GENERAL NOTES AND LEGEND.
- FINISHED FLOOR ELEVATIONS GIVEN ON PLANS ARE MINIMUM. EXACT ELEVATION SHALL BE DETERMINED WHEN THE SIZE AND LOCATION OF BUILDING IS SET. (BY OTHERS)
- "A" & "B" DENOTE STD. LOT TYPE GRADING (REFER TO GENERAL NOTES ON SHEET NO. 2). EXACT LOCATION OF SWALES SHALL BE DETERMINED WHEN THE SIZE AND LOCATION OF BUILDING IS SET. (BY OTHERS)
- BACK CORNERS OF LOTS ADJACENT TO PROJECT BOUNDARY OR BUFFERS ARE AT NATURAL GRADE ELEVATION (UNLESS OTHERWISE SHOWN).
- FLOOD ZONE INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP FOR ST. JOHNS COUNTY, FLORIDA MAP NUMBER 12109C0095J DATED 12/07/2018. ENTIRE PROJECT BOUNDARY IS WITHIN ZONE AE SEE DWG. NO.7 - POST DEVELOPMENT MASTER DRAINAGE MAP (RIVER LANDING (F.K.A. TMV PH6-HYDRY))
- FINISHED FLOOR ELEVATIONS ARE PRESENTED IN NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD), THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD) IS APPROXIMATELY 1.06' LOWER IN ELEVATION. (I.E. ELEVATION 59.00 (NGVD) = 57.94 (NAVD)) ALL ELEVATIONS CONTAINED IN THESE PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD). REFER TO GENERAL NOTES (SHEET 2).
- 70% OF NEWLY PLANTED TREES NEED TO BE CANOPY TREES.
- NO MORE THAN 50% OF NEWLY PLANTED TREES CAN BE OF THE SAME SPECIES.
- IRRIGATION SOURCE SHALL BE REUSE WATER AND NOT INCLUDE ANY WATER WELLS.
- ALL HOUSES LARGER 5,000 S.F. MUST HAVE SPRINKLED FIRE PROTECTION
- THE UPLAND BUFFER IS TO REMAIN A NATURAL AND UNDISTURBED VEGETATIVE BUFFER. NO ACTIVITY OR ACCESSORY USE IS TO TAKE PLACE IN THIS BUFFER.
- ENCROACHMENTS INCLUDING EAVES, WITHIN ANY PUBLIC OR PRIVATE DRAINAGE OR UTILITY EASEMENT IS PROHIBITED SECTION 6.04.06.F.7.D.

LOT GRADING REQUIREMENTS:

- GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.06.H)
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- PARCEL ID: 069440-0000
- TOTAL SITE AREA: 2010.73 Ac.
- INCREMENTAL MDP SITE AREA = 0.68 Ac.
- DEVELOPMENT: AMENITY PARCEL WITH COVERED PAVILION, COMMUNITY DOCK, AND PAVILION
- MINIMUM REQUIRED PARKING: NONE, PROVIDED COMMUNITY IT SERVES HAS ADEQUATE OFF STREET PARKING

As-Built Sewer Service Table (NGVD 1929)

Lot No.	Type	Top of Pipe Elev. (feet)
41	6" Sewer Service	7.8
42	6" Sewer Service	7.8

DEVELOPMENT CRITERIA

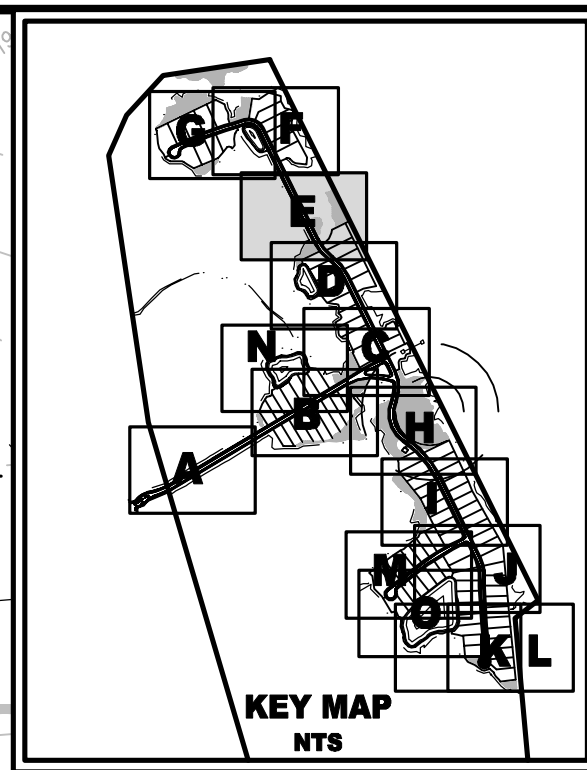
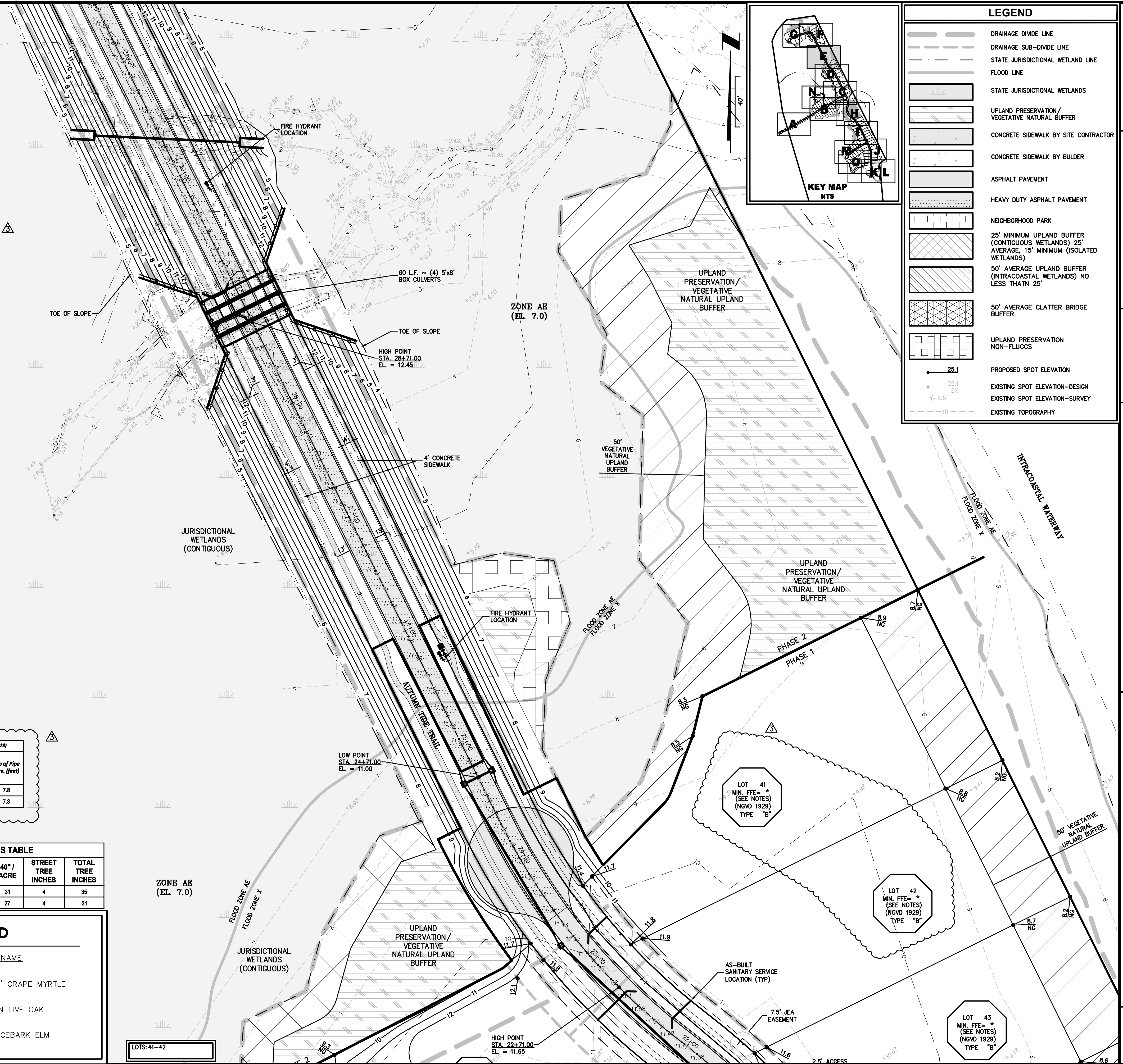
	VR
RESIDENTIAL DENSITY (NET DU/AC**)	104 SFU MAX.
MAX BUILDING HEIGHT*	35'
MINIMUM FLOOR AREA (SF)	400
ACCESSORY APARTMENTS	400
SINGLE FAMILY	
MINIMUM LOT SIZE	4,000 SF
MINIMUM LOT WIDTH	40'
SETBACKS**	
FRONT:	
BUILDING	20'
PORCH (MIN. HALF OF BLDG FRONTAGE IS PORCH***)	10'
FRONT FACING GARAGE/CARPORT	25'
ALLEY FRONT YARDS	5'
SIDE:	
STREET SIDE/CORNER LOT	10'
SIDES (TYPICAL)	5'
ZERO LOTS (ZERO SIDE/OTHER SIDE)	2'/8'
REAR:	
PRIMARY STRUCTURE	10'
REAR GARAGES OR ACCESSORY STRUCTURES****	5'
MAX LOT COVERAGE BY BUILDINGS	55%

TREE INCHES TABLE

LOT NO.	NOMINAL LOT WIDTH	SF	40" / ACRE	STREET TREE INCHES	TOTAL TREE INCHES
41	120'	33884	31	4	35
42	120'	29087	27	4	31

PLANT LEGEND

TREES	COMMON NAME
	NATCHEZ' GRAPE MYRTLE
	SOUTHERN LIVE OAK
	ALLEE LACEBARK ELM



LEGEND

	DRAINAGE DIVIDE LINE
	DRAINAGE SUB-DIVIDE LINE
	STATE JURISDICTIONAL WETLAND LINE
	FLOOD LINE
	STATE JURISDICTIONAL WETLANDS
	UPLAND PRESERVATION/VEGETATIVE NATURAL BUFFER
	CONCRETE SIDEWALK BY SITE CONTRACTOR
	CONCRETE SIDEWALK BY BULDER
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	NEIGHBORHOOD PARK
	25' MINIMUM UPLAND BUFFER (CONTIGUOUS WETLANDS)
	15' MINIMUM (ISOLATED WETLANDS)
	50' AVERAGE UPLAND BUFFER (INTRACOASTAL WETLANDS) NO LESS THAN 25'
	50' AVERAGE CLATTER BRIDGE BUFFER
	UPLAND PRESERVATION NON-FLUCCS
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION-DESIGN
	EXISTING SPOT ELEVATION-SURVEY
	EXISTING TOPOGRAPHY

ENGELAND-THIMS & MILLER, INC.
 4221 W. Highway 90, Jacksonville, FL 32258
 TEL: (904) 646-8890 FAX: (904) 646-8485
 CA: 00002684 LC: 0000316

NEIGHBORHOOD SITE PLAN
RIVER LANDING (F.K.A. TMV PH6-HYDRY)
FOR HYDRY COMPANY, LLC

EM NO. 18-155
 DRAWN BY: ESW
 DESIGNED BY: PPH
 CHECKED BY: PPH
 DATE: MARCH 2020

PLANS PREPARED UNDER THE DIRECTION OF:
 PAUL P. HUTCHINSON, PE
 P.E. NUMBER: 93366

REVISIONS:
 4/21/2021 REVISED GRADING/ LOT BLOCKS/ ADDED NOTES/ ADDED PHASE LINE TABLE
 ADDED AS-BUILT SEWER SERVICE LOCATIONS/ UPDATED GRADING NOTES; MIN. FFE FOR NON-FILL LOTS.

DRAWING NUMBER
9E

t:\2018\18-155\LandDev\Design\Plots\18-155-NC.dwg
 PLOTTED: May 31, 2022 - 4:33 PM, BY: Beth Workins

LOT GRADING REQUIREMENTS:

1. GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 8.04.06.4)
2. FLORIDA BUILDING CODE (FBC 7.0) IF THE GARAGE FLOOR IS BELOW THIS ELEVATION, FLOOD RESISTANT MATERIAL AND HYDROSTATIC FLOOD OPENINGS IN COMPLIANCE WITH NFIP CRITERIA WILL BE REQUIRED.
3. FLORIDA BUILDING CODE (704) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE ANTICIPATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
4. ALL THREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

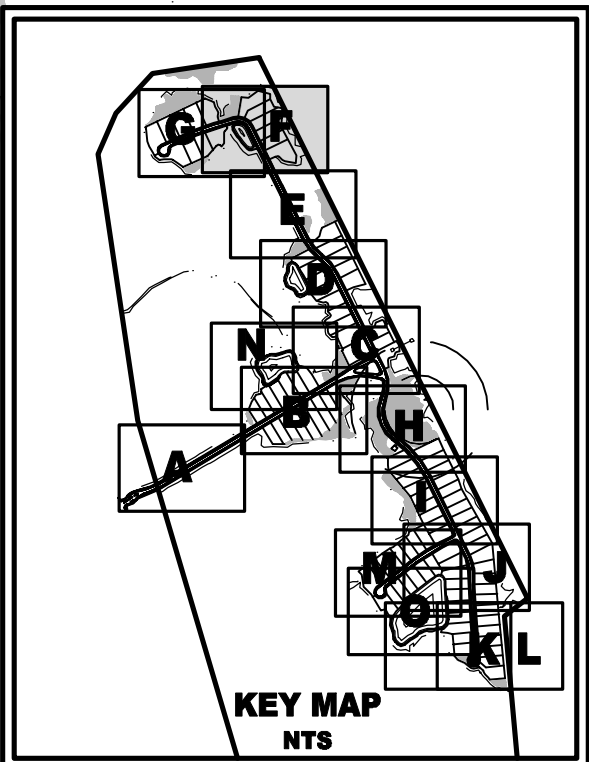
LOT GRADING NOTES:

1. THE GARAGE FLOOR AND MECHANICAL EQUIPMENT FOR EACH LOT MUST BE ELEVATED TO MEET MINIMUM FEMA REQUIREMENTS (BFE 7.0). IF THE GARAGE FLOOR IS BELOW THIS ELEVATION, FLOOD RESISTANT MATERIAL AND HYDROSTATIC FLOOD OPENINGS IN COMPLIANCE WITH NFIP CRITERIA WILL BE REQUIRED.
2. FINAL LOT GRADING SHALL DEMONSTRATE POSITIVE DRAINAGE TO REAR OF LOT.
3. FINAL LOT GRADING SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTY. WHEN POSSIBLE, LOT LINE SWALES SHALL BE UTILIZED.
4. BUILDER TO SUBMIT FINAL LOT GRADING PLAN TO ST. JOHNS COUNTY FOR APPROVAL FOR EACH LOT.
5. * MINIMUM FINISHED FLOOR ELEVATION TO BE IN ACCORDANCE WITH NOCA/TEE PUD/DR/DO MINIMUM ELEVATION 9.3 (NGVD 1929) AND FEMA REQUIREMENTS.
6. REFER TO AS-BUILT SEWER SERVICE TABLE FOR AS-BUILT SEWER SERVICE INFORMATION (PROVIDED BY CONTRACTOR). LOTS 26-40 UTILIZE LOW PRESSURE SYSTEM SERVICES (NOT SHOWN).

JURISDICTIONAL WETLANDS (CONTIGUOUS)

DEVELOPMENT CRITERIA

	VR
RESIDENTIAL DENSITY (NET DU/AC***)	104 SFU MAX. MAX. 6
MAX BUILDING HEIGHT*	35'
MINIMUM FLOOR AREA (SF)	400
ACCESSORY APARTMENTS	400
SINGLE FAMILY	
MINIMUM LOT SIZE	4,000 SF
MINIMUM LOT WIDTH	40'
SETBACKS**	
FRONT:	BUILDING 20'
	PORCH (MIN. HALF OF BLDG FRONTAGE IS PORCH***) 10'
SIDE:	FRONT FACING GARAGE/CARPORT 25'
	ALLEY FRONT YARDS 5'
	STREET SIDE/CORNER LOT 10'
	SIDES (TYPICAL) 5'
REAR:	ZERO LOTS (ZERO SIDE/OTHER SIDE) 2'/8'
	PRIMARY STRUCTURE 10'
	REAR GARAGES OR ACCESSORY STRUCTURES**** 5'
MAX LOT COVERAGE BY BUILDINGS	55%



REFER TO SHEET 9A FOR GENERAL NOTES

DEVELOPMENT SUMMARY

1. PARCEL ID: 069440-0000
2. TOTAL SITE AREA: 2010.73 Ac.
3. INCREMENTAL MDP SITE AREA = 0.68 Ac.
4. DEVELOPMENT: AMENITY PARCEL WITH COVERED PAVILION, COMMUNITY DOCK, AND PAVILION
5. MINIMUM REQUIRED PARKING: NONE, PROVIDED COMMUNITY IT SERVES HAS ADEQUATE OFF STREET PARKING

LEGEND

	DRAINAGE DIVIDE LINE
	DRAINAGE SUB-DIVIDE LINE
	STATE JURISDICTIONAL WETLAND LINE
	FLOOD LINE
	STATE JURISDICTIONAL WETLANDS
	UPLAND PRESERVATION / VEGETATIVE NATURAL BUFFER
	CONCRETE SIDEWALK BY SITE CONTRACTOR
	CONCRETE SIDEWALK BY BULDER
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	NEIGHBORHOOD PARK
	25' MINIMUM UPLAND BUFFER (CONTIGUOUS WETLANDS) 25' AVERAGE, 15' MINIMUM (ISOLATED WETLANDS)
	50' AVERAGE UPLAND BUFFER (INTRACOASTAL WETLANDS) NO LESS THAN 25'
	50' AVERAGE CLATTER BRIDGE BUFFER
	UPLAND PRESERVATION NON-FLUCSS
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION-DESIGN
	EXISTING SPOT ELEVATION-SURVEY
	EXISTING TOPOGRAPHY

STORMWATER MANAGEMENT FACILITY NO. 3

TOB EL. = 11.50 (0.58 Ac.±)
 NWL EL. = 8.00 (0.38 Ac.±)
 BOT EL. = -4.00 (0.03 Ac.±)

DHW (25 yr) = 10.33
 DHW (5 yr) = 9.88
 DHW (3 yr) = 9.75
 DHW (MA) = 9.61

PLANT LEGEND

TREES	COMMON NAME
	'NATCHEZ' GRAPE MYRTLE
	SOUTHERN LIVE OAK
	ALLEE LACEBARK ELM

TREES INCHES TABLE

LOT NO.	NOMINAL LOT WIDTH	SF	40' / ACRE	STREET TREE INCHES	TOTAL TREE INCHES
35	105'	36300	33	4	37
36	105'	29544	27	4	31
37	105'	31275	29	4	33
38	105'	25452	23	4	27
39	105'	24138	22	0	22
40	100'	38392	35	0	35

PLANS PREPARED UNDER THE DIRECTION OF:

REVISIONS:

- 4/21/2021 REVISED GRADING/ LOT BLOCKS/ ADDED NOTES/ REVISED TREE TABLE
- 5/20/2022 UPDATED GRADING NOES, MIN. FFE FOR NON-FILL LOTS

ETM No. 18-155

DRAWN BY: ESW

DESIGNED BY: PPH

CHECKED BY: PPH

DATE: MARCH 2020

England-Thins & Miller, Inc.
 10000 Road
 Jacksonville, FL 32258
 TEL: (904) 646-8880
 FAX: (904) 646-8485
 CA: 00002584 LC: 0000316

ETM
 VISION • EXPERIENCE • RESULTS

NEIGHBORHOOD SITE PLAN

RIVER LANDING (F.K.A. TMV PH6-HYDRY)

HYDRY COMPANY, LLC

DRAWING NUMBER

9F

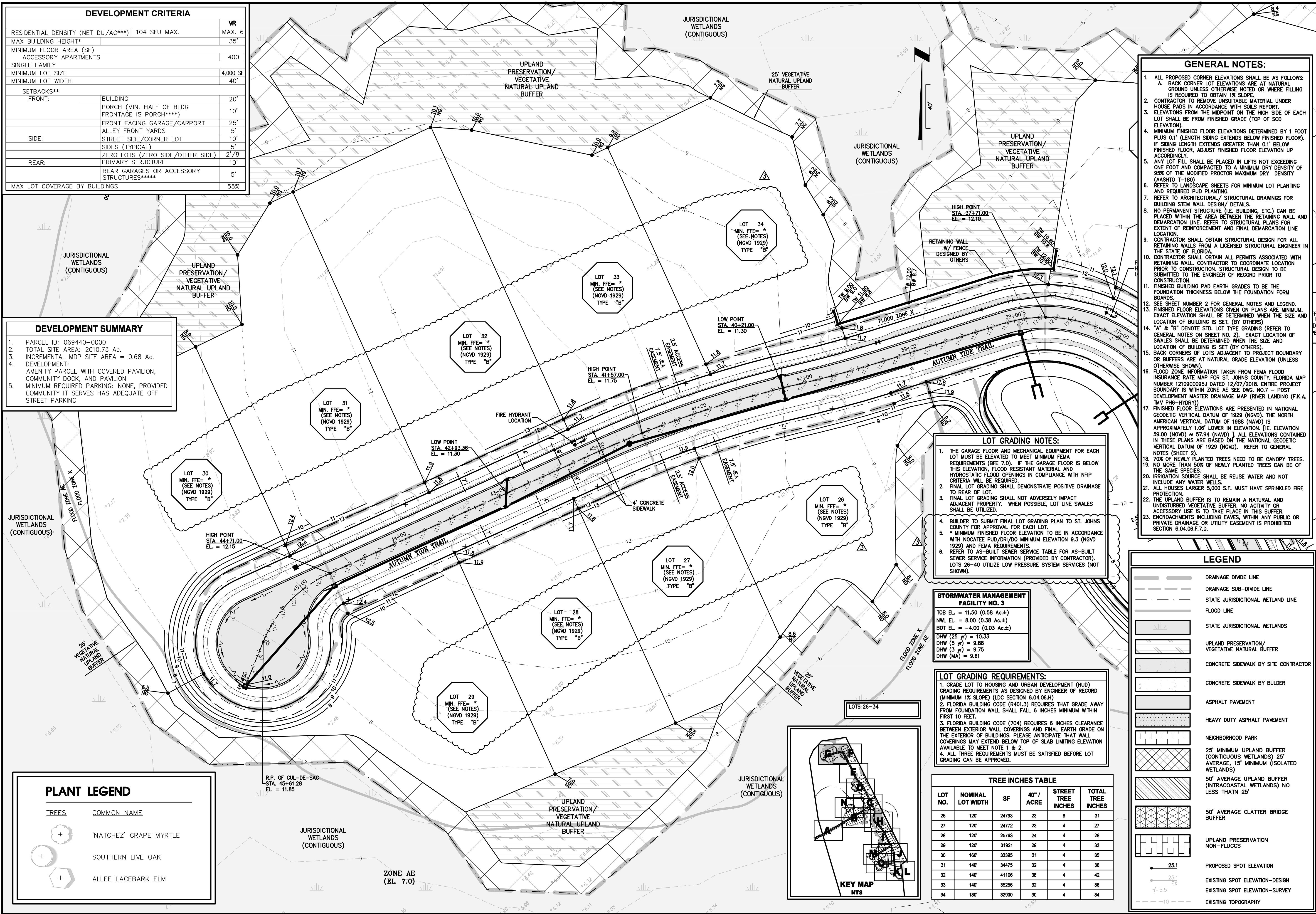
t: 2018\18-155\LandDev\Design\Plots\18-155-NG.dwg

PLOTTED: May 31, 2022 - 4:33 PM, BY: Beth Workins

PAUL P. HUTCHINSON, PE
 P.E. NUMBER: 93366

DEVELOPMENT CRITERIA		VR
RESIDENTIAL DENSITY (NET DU/AC***)	104 SFU MAX.	MAX. 6
MAX BUILDING HEIGHT*		35'
MINIMUM FLOOR AREA (SF)		400
ACCESSORY APARTMENTS		400
SINGLE FAMILY		
MINIMUM LOT SIZE		4,000 SF
MINIMUM LOT WIDTH		40'
SETBACKS**		
FRONT:	BUILDING	20'
	PORCH (MIN. HALF OF BLDG FRONTAGE IS PORCH***)	10'
	FRONT FACING GARAGE/CARPOR	25'
	ALLEY FRONT YARDS	5'
SIDE:	STREET SIDE/CORNER LOT SIDES (TYPICAL)	10'
	ZERO LOTS (ZERO SIDE/OTHER SIDE)	2/8'
REAR:	PRIMARY STRUCTURE	10'
	REAR GARAGES OR ACCESSORY STRUCTURES****	5'
	MAX LOT COVERAGE BY BUILDINGS	55%

- DEVELOPMENT SUMMARY**
- PARCEL ID: 069440-0000
 - TOTAL SITE AREA: 2010.73 Ac.
 - INCREMENTAL MDP SITE AREA = 0.68 Ac.
 - DEVELOPMENT: AMENITY PARCEL WITH COVERED PAVILION, COMMUNITY DOCK, AND PAVILION
 - MINIMUM REQUIRED PARKING: NONE, PROVIDED COMMUNITY IT SERVICES HAS ADEQUATE OFF STREET PARKING



- GENERAL NOTES:**
- ALL PROPOSED CORNER ELEVATIONS SHALL BE AS FOLLOWS: A. BACK CORNER LOT ELEVATIONS ARE AT NATURAL GROUND UNLESS OTHERWISE NOTED OR WHERE FILLING IS REQUIRED TO OBTAIN 1% SLOPE.
 - CONTRACTOR TO REMOVE UNSUITABLE MATERIAL UNDER HOUSE PADS IN ACCORDANCE WITH SOILS REPORT.
 - ELEVATIONS FROM THE MIDPOINT ON THE HIGH SIDE OF EACH LOT SHALL BE FROM FINISHED GRADE (TOP OF SOIL ELEVATION).
 - MINIMUM FINISHED FLOOR ELEVATIONS DETERMINED BY 1 FOOT PLUS 0.1' (LENGTH SIDING EXTENDS BELOW FINISHED FLOOR). IF SIDING LENGTH EXTENDS GREATER THAN 0.1' BELOW FINISHED FLOOR, ADJUST FINISHED FLOOR ELEVATION UP ACCORDINGLY.
 - ANY LOT FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING ONE FOOT AND COMPACTED TO A MINIMUM DRY DENSITY OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180).
 - REFER TO LANDSCAPE SHEETS FOR MINIMUM LOT PLANTING AND REQUIRED PUD PLANTING.
 - REFER TO ARCHITECTURAL/ STRUCTURAL DRAWINGS FOR BUILDING STEM WALL DESIGN/ DETAILS.
 - NO PERMANENT STRUCTURE (I.E. BUILDING, ETC.) CAN BE PLACED WITHIN THE AREA BETWEEN THE RETAINING WALL AND DEMARCATION LINE. REFER TO STRUCTURAL PLANS FOR EXTENT OF REINFORCEMENT AND FINAL DEMARCATION LINE LOCATION.
 - CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN FOR ALL RETAINING WALLS FROM A LICENSED STRUCTURAL ENGINEER IN THE STATE OF FLORIDA.
 - CONTRACTOR SHALL OBTAIN ALL PERMITS ASSOCIATED WITH RETAINING WALL. CONTRACTOR TO COORDINATE LOCATION PRIOR TO CONSTRUCTION. STRUCTURAL DESIGN TO BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
 - FINISHED BUILDING PAD EARTH GRADES TO BE THE FOUNDATION THICKNESS BELOW THE FOUNDATION FORM BOARDS.
 - SEE SHEET NUMBER 2 FOR GENERAL NOTES AND LEGEND.
 - FINISHED FLOOR ELEVATIONS GIVEN ON PLANS ARE MINIMUM. EXACT ELEVATION SHALL BE DETERMINED WHEN THE SIZE AND LOCATION OF BUILDING IS SET. (BY OTHERS).
 - "A" & "B" DENOTE STD. LOT TYPE GRADING (REFER TO GENERAL NOTES ON SHEET NO. 2). EXACT LOCATION OF SWALES SHALL BE DETERMINED WHEN THE SIZE AND LOCATION OF BUILDING IS SET (BY OTHERS).
 - BACK CORNERS OF LOTS ADJACENT TO PROJECT BOUNDARY OR BUFFERS ARE AT NATURAL GRADE ELEVATION (UNLESS OTHERWISE SHOWN).
 - FLOOD ZONE INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP FOR ST. JOHNS COUNTY, FLORIDA MAP NUMBER 12109C0095J DATED 12/07/2018. ENTIRE PROJECT BOUNDARY IS WITHIN ZONE AE SET DWG. NO. 7 - POST DEVELOPMENT MASTER DRAINAGE MAP (RIVER LANDING (F.K.A. TMV PH6-HYDRY)).
 - FINISHED FLOOR ELEVATIONS ARE PRESENTED IN NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD). THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD) IS APPROXIMATELY 1.06' LOWER IN ELEVATION. (I.E. ELEVATION 59.00 (NGVD) = 57.94 (NAVD)) ALL ELEVATIONS CONTAINED IN THESE PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD). REFER TO GENERAL NOTES (SHEET 2).
 - 70% OF NEWLY PLANTED TREES NEED TO BE CANOPY TREES.
 - NO MORE THAN 50% OF NEWLY PLANTED TREES CAN BE OF THE SAME SPECIES.
 - IRRIGATION SOURCE SHALL BE REUSE WATER AND NOT INCLUDE ANY WATER WELLS.
 - ALL HOUSES LARGER 5,000 S.F. MUST HAVE SPRINKLER FIRE PROTECTION.
 - THE UPLAND BUFFER IS TO REMAIN A NATURAL AND UNDISTURBED VEGETATIVE BUFFER. NO ACTIVITY OR ACCESSORY USE IS TO TAKE PLACE IN THIS BUFFER.
 - ENCROACHMENTS INCLUDING EAVES, WITHIN ANY PUBLIC OR PRIVATE DRAINAGE OR UTILITY EASEMENT IS PROHIBITED SECTION 6.04.06.F.7.D.

- LOT GRADING NOTES:**
- THE GARAGE FLOOR AND MECHANICAL EQUIPMENT FOR EACH LOT MUST BE ELEVATED TO MEET MINIMUM FEMA REQUIREMENTS (BFE 7.0). IF THE GARAGE FLOOR IS BELOW THIS ELEVATION, FLOOD RESISTANT MATERIAL AND HYDROSTATIC FLOOD OPENINGS IN COMPLIANCE WITH NFIP CRITERIA WILL BE REQUIRED.
 - FINAL LOT GRADING SHALL DEMONSTRATE POSITIVE DRAINAGE TO REAR OF LOT.
 - FINAL LOT GRADING SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTY. WHEN POSSIBLE, LOT LINE SWALES SHALL BE UTILIZED.
 - BUILDER TO SUBMIT FINAL LOT GRADING PLAN TO ST. JOHNS COUNTY FOR APPROVAL FOR EACH LOT.
 - MINIMUM FINISHED FLOOR ELEVATION TO BE IN ACCORDANCE WITH Nocatee PUD/DR/DO MINIMUM ELEVATION 9.3 (NGVD 1929) AND FEMA REQUIREMENTS.
 - REFER TO AS-BUILT SEWER SERVICE TABLE FOR AS-BUILT SEWER SERVICE INFORMATION (PROVIDED BY CONTRACTOR). LOTS 28-40 UTILIZE LOW PRESSURE SYSTEM SERVICES (NOT SHOWN).

STORMWATER MANAGEMENT FACILITY NO. 3

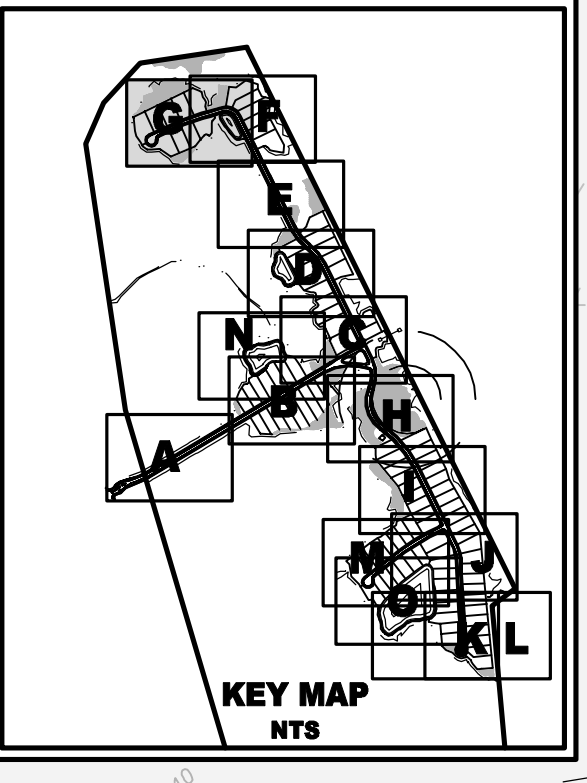
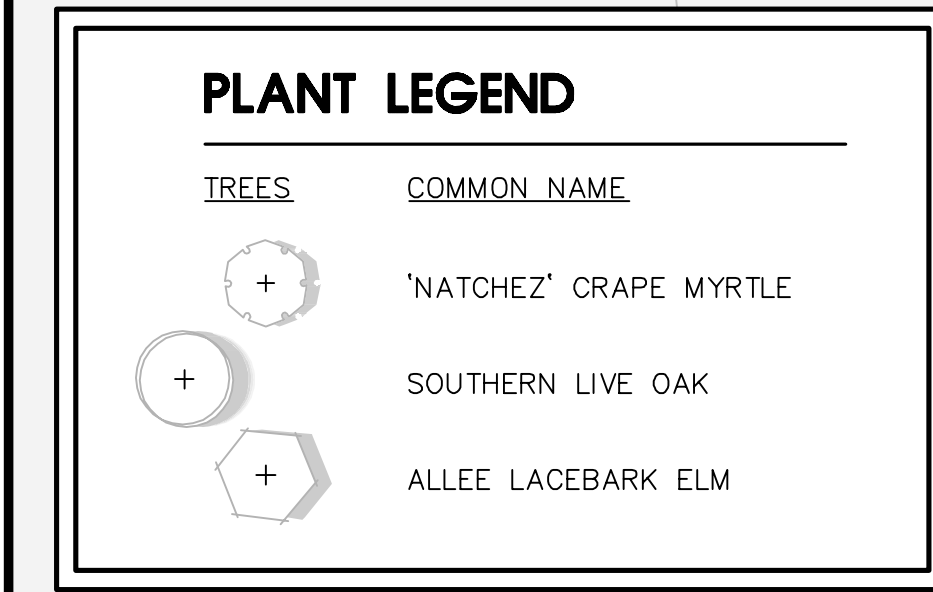
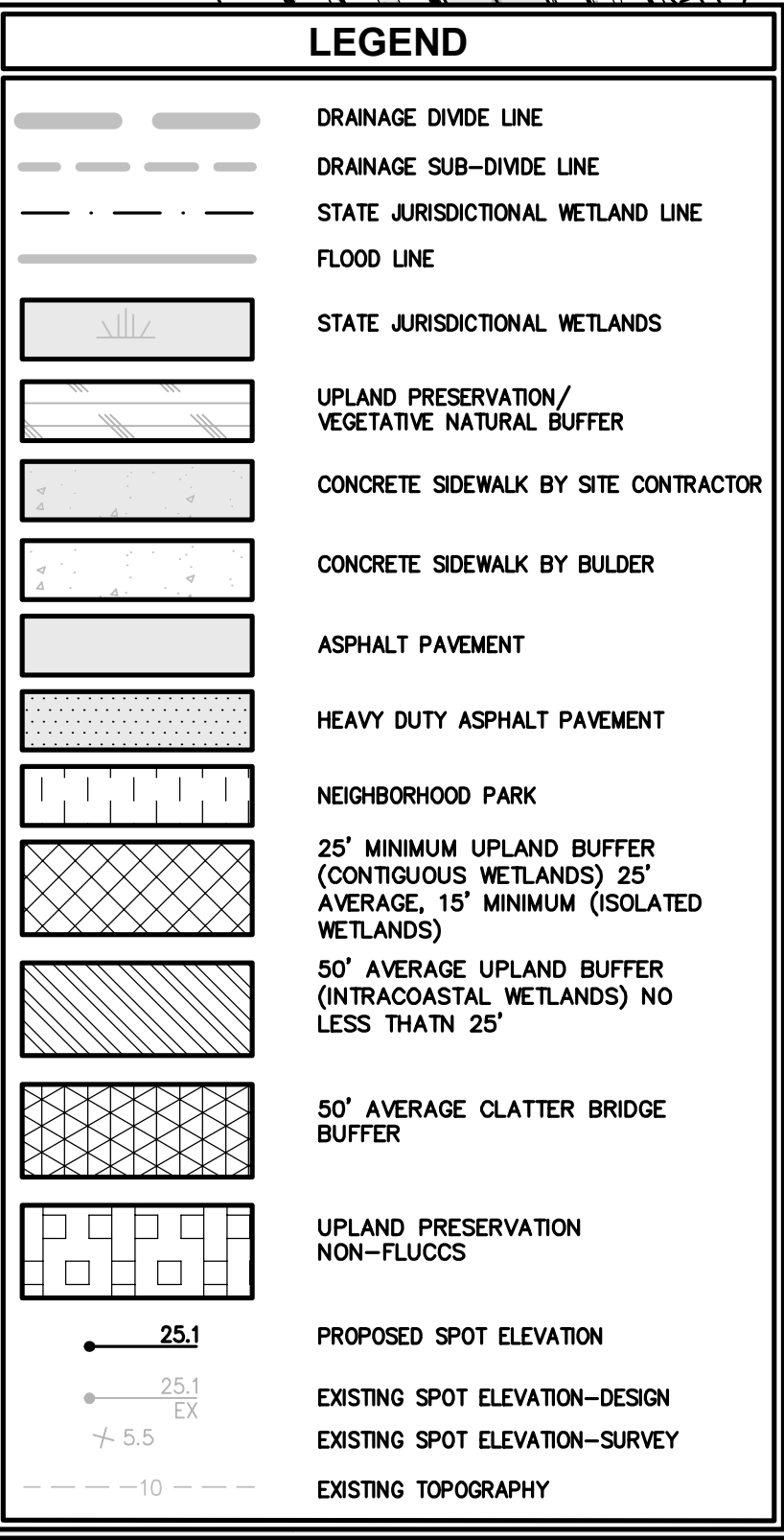
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DHW (25 yr) = 10.33
 DHW (5 yr) = 9.88
 DHW (3 yr) = 9.75
 DHW (MA) = 9.61

- LOT GRADING REQUIREMENTS:**
- GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.06.H)
 - FLORIDA BUILDING CODE (R401.3) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
 - FLORIDA BUILDING CODE (704) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE ANTICIPATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
 - ALL THREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

TREE INCHES TABLE

LOT NO.	NOMINAL LOT WIDTH	SF	40' / ACRE	STREET TREE INCHES	TOTAL TREE INCHES
26	120'	24793	23	8	31
27	120'	24772	23	4	27
28	120'	25763	24	4	28
29	120'	31921	29	4	33
30	160'	33395	31	4	35
31	140'	34475	32	4	36
32	140'	41106	38	4	42
33	140'	36256	32	4	36
34	130'	32900	30	4	34



PLANS PREPARED UNDER THE DIRECTION OF:

EM NO. 18-155

DRAWN BY: ESW

DESIGNED BY: PPH

CHECKED BY: PPH

DATE: MARCH 2020

Revisions:
 4/21/2021 REVISED GRADING/ LOT BLOCKS/
 ADDED NOTES/ REVISED TREE TABLE
 5/20/2022 UPDATED GRADING NOTES/
 MIN. FFE FOR NON-FILL LOTS.

England-Thins & Miller, Inc.
 10000 N. US Highway 1
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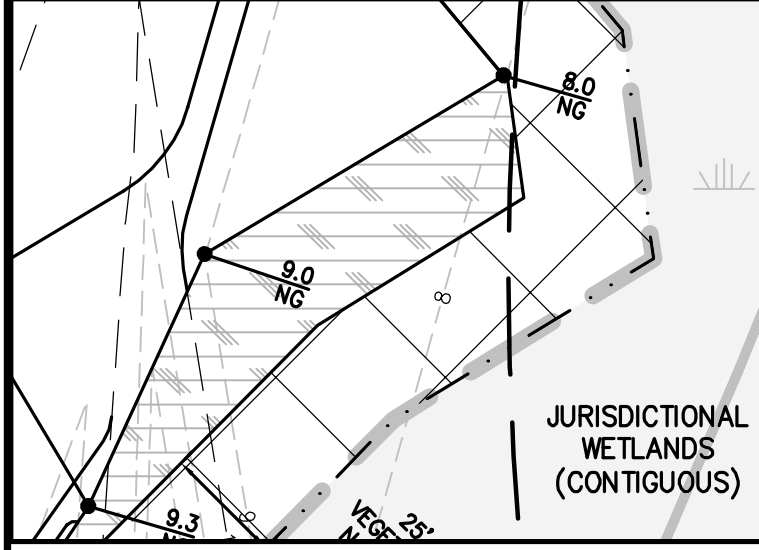
ETM
 VISION • EXPERIENCE • RESULTS

NEIGHBORHOOD SITE PLAN
RIVER LANDING (F.K.A. TMV PH6-HYDRY)
FOR HYDRY COMPANY, LLC

DRAWING NUMBER
99

t:\2018\18-155\LandDev\Design\Plots\18-155-NG.dwg
 PLOTTED: May 31, 2022 - 4:33 PM, BY: Beth Workins
 PAUL P. HUTCHINSON, PE
 P.E. NUMBER: 59366

DEVELOPMENT CRITERIA		VR
RESIDENTIAL DENSITY (NET DU/AC***)	104 SFU MAX.	MAX. 6
MAX BUILDING HEIGHT*		35'
MINIMUM FLOOR AREA (SF)		400
ACCESSORY APARTMENTS		400
SINGLE FAMILY		
MINIMUM LOT SIZE		4,000 SF
MINIMUM LOT WIDTH		40'
SETBACKS**		
FRONT:	BUILDING	20'
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	ALLEY FRONT YARDS	5'
SIDE:	STREET SIDE/CORNER LOT SIDES (TYPICAL)	10'
	ZERO LOTS (ZERO SIDE/OTHER SIDE)	2/8'
REAR:	PRIMARY STRUCTURE	10'
	REAR GARAGES OR ACCESSORY STRUCTURES****	5'
MAX LOT COVERAGE BY BUILDINGS		55%



- DEVELOPMENT SUMMARY**
- PARCEL ID: 069440-0000
 - TOTAL SITE AREA: 2010.73 Ac.
 - INCREMENTAL MDP SITE AREA = 0.68 Ac.
 - DEVELOPMENT: AMENITY PARCEL WITH COVERED PAVILION, COMMUNITY DOCK, AND PAVILION
 - MINIMUM REQUIRED PARKING: NONE, PROVIDED COMMUNITY IT SERVICES HAS ADEQUATE OFF STREET PARKING

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- GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.06.H)
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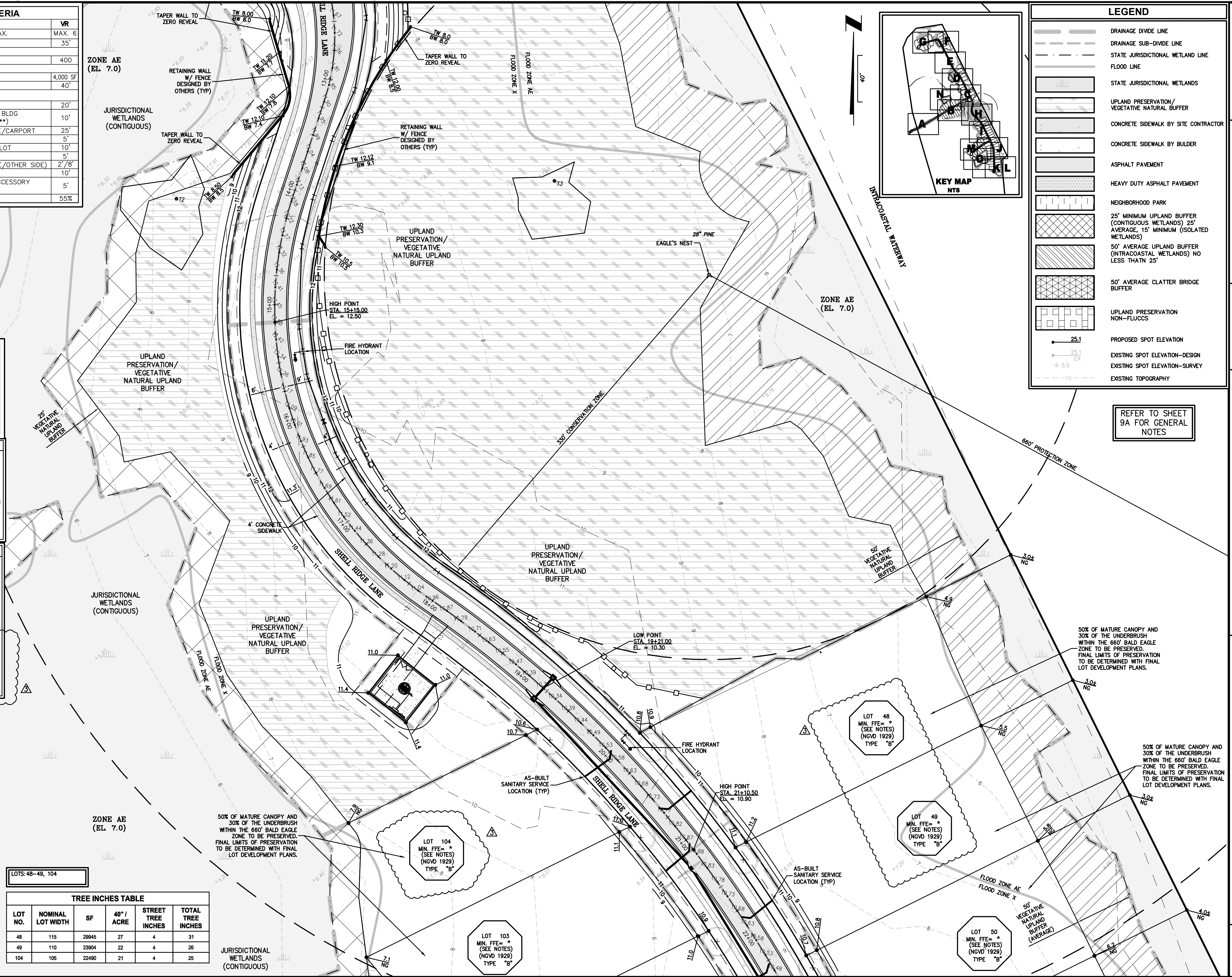
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 - REFER TO AS-BUILT SEWER SERVICE TABLE FOR AS-BUILT SEWER SERVICE INFORMATION (PROVIDED BY CONTRACTOR). LOTS 26-40 UTILIZE LOW PRESSURE SYSTEM SERVICES (NOT SHOWN).

As-built Sewer Service Table (NGVD 1929)

Lot No.	Type	Top of Pipe Elev. (feet)
48	6" Sewer Service	7.0
49	6" Sewer Service	7.1
104	6" Sewer Service	7.1

PLANT LEGEND

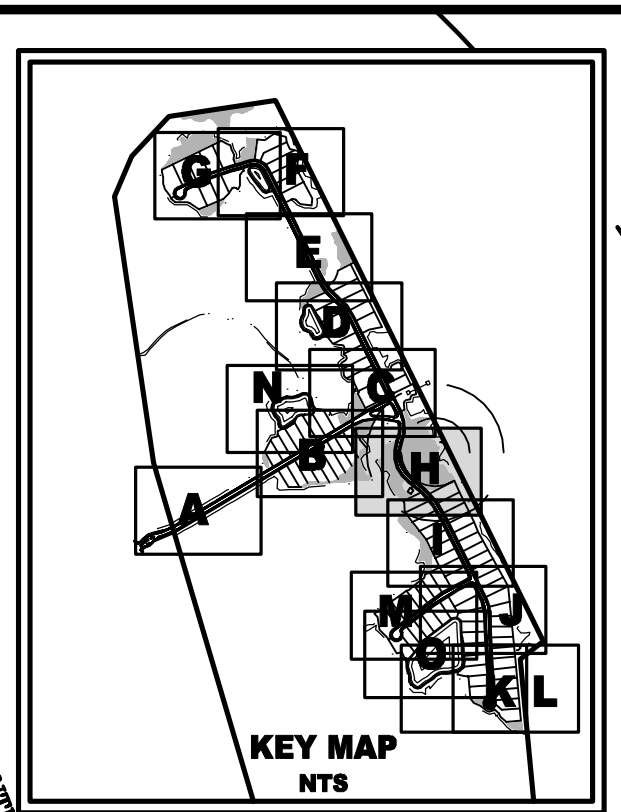
TREES	COMMON NAME
(Symbol)	'NATCHEZ' CRAPE MYRTLE
(Symbol)	SOUTHERN LIVE OAK
(Symbol)	ALLEE LACEBARK ELM



LOTS: 48-49, 104

TREE INCHES TABLE

LOT NO.	NOMINAL LOT WIDTH	SF	40"/ACRE	STREET TREE INCHES	TOTAL TREE INCHES
48	115	29945	27	4	31
49	110	23904	22	4	26
104	105	22490	21	4	25



LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- STATE JURISDICTIONAL WETLAND LINE
- FLOOD LINE
- STATE JURISDICTIONAL WETLANDS
- UPLAND PRESERVATION/VEGETATIVE NATURAL BUFFER
- CONCRETE SIDEWALK BY SITE CONTRACTOR
- CONCRETE SIDEWALK BY BULDER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- NEIGHBORHOOD PARK
- 25' MINIMUM UPLAND BUFFER (CONTIGUOUS WETLANDS) 25' AVERAGE, 15' MINIMUM (ISOLATED WETLANDS)
- 50' AVERAGE UPLAND BUFFER (INTRACOASTAL WETLANDS) NO LESS THAN 25'
- 50' AVERAGE CLATTER BRIDGE BUFFER
- UPLAND PRESERVATION NON-FLUCCS
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION-DESIGN
- EXISTING SPOT ELEVATION-SURVEY
- EXISTING TOPOGRAPHY

REFER TO SHEET 9A FOR GENERAL NOTES

ENGELAND-THIMS & MILLER, INC.
 10000 Highway 100, Jacksonville, FL 32258
 TEL: (904) 642-8890 FAX: (904) 646-9485
 CA: 00002584 LC: 00003616

NEIGHBORHOOD SITE PLAN
RIVER LANDING (F.K.A. TMV PH6-HYDRY)
HYDRY COMPANY, LLC

EM NO. 18-155
 DRAWN BY: ESW
 DESIGNED BY: PPH
 CHECKED BY: PPH
 DATE: MARCH 2020

PLANS PREPARED UNDER THE DIRECTION OF:
 PAUL P. HUTCHINSON, PE
 P.E. NUMBER: 93366

REVISIONS:
 4/21/2021 REVISED GRADING/ LOT BLOCKS/ ADDED NOTES/ REVISED TREE TABLE
 5/20/2022 ADDED SEWER SERVICE TABLE, ADDED AS-BUILT SEWER SERVICE LOCATIONS, UPDATED GRADING NOTES, MIN. FFE FOR NON-FILL LOTS.

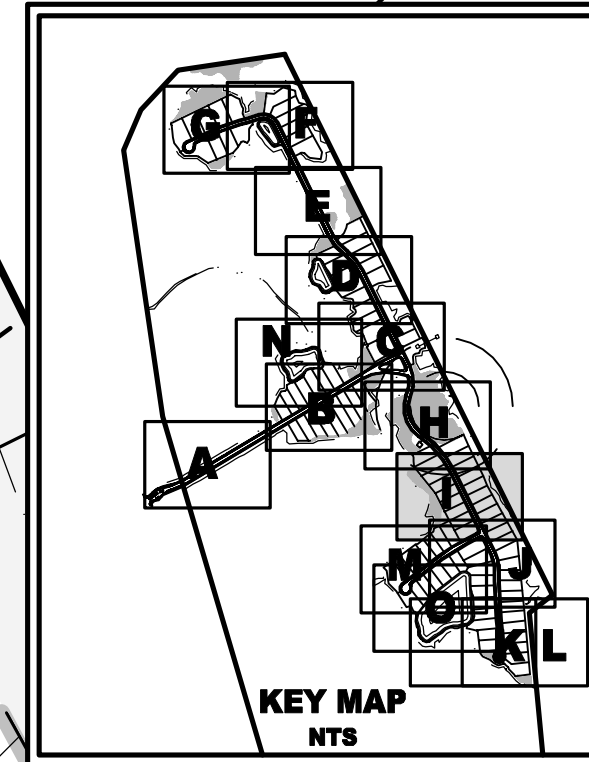
DRAWING NUMBER
9H

PLANT LEGEND

TREES	COMMON NAME
	'NATCHEZ' CRAPE MYRTLE
	SOUTHERN LIVE OAK
	ALLEE LACEBARK ELM

DEVELOPMENT CRITERIA

	VR
RESIDENTIAL DENSITY (NET DU/AC***)	104 SFU MAX.
MAX BUILDING HEIGHT*	35'
MINIMUM FLOOR AREA (SF)	400
ACCESSORY APARTMENTS	
SINGLE FAMILY	
MINIMUM LOT SIZE	4,000 SF
MINIMUM LOT WIDTH	40'
SETBACKS**	
FRONT:	
BUILDING	20'
PORCH (MIN. HALF OF BLDG FRONTAGE IS PORCH***)	10'
FRONT FACING GARAGE/CARPORT	25'
ALLEY FRONT YARDS	5'
SIDE:	
STREET SIDE/CORNER LOT	10'
SIDES (TYPICAL)	5'
REAR:	
ZERO LOTS (ZERO SIDE/OTHER SIDE)	2/8'
PRIMARY STRUCTURE	10'
REAR GARAGES OR ACCESSORY STRUCTURES****	5'
MAX LOT COVERAGE BY BUILDINGS	55%



As-Built Sewer Service Table (NGVD 1929)

Lot No.	Type	Top of Pipe Elev. (feet)
50	6" Sewer Service	7.3
51	6" Sewer Service	6.7
52	6" Sewer Service	6.5
53	6" Sewer Service	6.8
54	6" Sewer Service	6.6
55	6" Sewer Service	5.8
56	6" Sewer Service	5.8
99	6" Sewer Service	7.8
100	6" Sewer Service	7.7
101	6" Sewer Service	6.8
102	6" Sewer Service	6.6
103	6" Sewer Service	6.9

DEVELOPMENT SUMMARY

- PARCEL ID: 069440-0000
- TOTAL SITE AREA: 2010.73 Ac.
- INCREMENTAL MDP SITE AREA = 0.68 Ac.
- DEVELOPMENT: AMENITY PARCEL WITH COVERED PAVILION, COMMUNITY DOCK, AND PAVILION
- MINIMUM REQUIRED PARKING: NONE, PROVIDED COMMUNITY IT SERVICES HAS ADEQUATE OFF STREET PARKING

LOT GRADING REQUIREMENTS:

- GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.06.H)
- FLORIDA BUILDING CODE (R401.3) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
- FLORIDA BUILDING CODE (704) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE ANTICIPATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
- ALL THREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

LOT GRADING NOTES:

- THE GARAGE FLOOR AND MECHANICAL EQUIPMENT FOR EACH LOT MUST BE ELEVATED TO MEET MINIMUM FEMA REQUIREMENTS (BFE 7.0). IF THE GARAGE FLOOR IS BELOW THIS ELEVATION, FLOOD RESISTANT MATERIAL AND HYDROSTATIC FLOOD OPENINGS IN COMPLIANCE WITH NFIP CRITERIA WILL BE REQUIRED.
- FINAL LOT GRADING SHALL DEMONSTRATE POSITIVE DRAINAGE TO ADJACENT PROPERTY. WHEN POSSIBLE, LOT LINE SWALES SHALL BE UTILIZED.
- FINAL LOT GRADING SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTY. WHEN POSSIBLE, LOT LINE SWALES SHALL BE UTILIZED.
- BUILDER TO SUBMIT FINAL LOT GRADING PLAN TO ST. JOHNS COUNTY FOR APPROVAL FOR EACH LOT.
- * MINIMUM FINISHED FLOOR ELEVATION TO BE IN ACCORDANCE WITH Nocatee PUD/DR/DO MINIMUM ELEVATION 9.3 (NGVD 1929) AND FEMA REQUIREMENTS.
- REFER TO AS-BUILT SEWER SERVICE TABLE FOR AS-BUILT SEWER SERVICE INFORMATION (PROVIDED BY CONTRACTOR). LOTS 35-40 UTILIZE LOW PRESSURE SYSTEM SERVICES (NOT SHOWN).

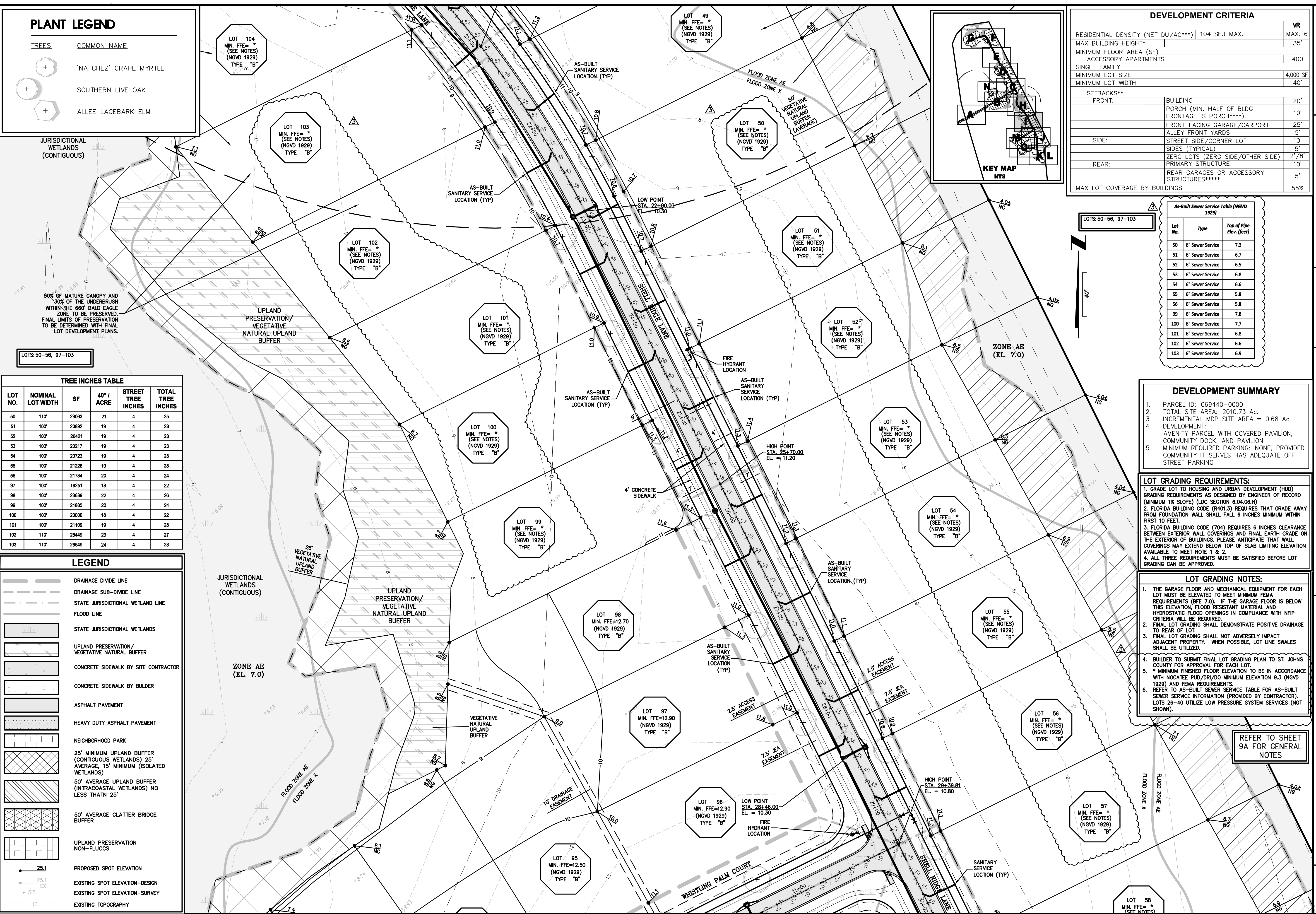
REFER TO SHEET 9A FOR GENERAL NOTES

TREE INCHES TABLE

LOT NO.	NOMINAL LOT WIDTH	SF	40' / ACRE	STREET TREE INCHES	TOTAL TREE INCHES
50	110'	23063	21	4	25
51	100'	20892	19	4	23
52	100'	20421	19	4	23
53	100'	20217	19	4	23
54	100'	20723	19	4	23
55	100'	21228	19	4	23
56	100'	21734	20	4	24
97	100'	19251	18	4	22
98	100'	23639	22	4	26
99	100'	21885	20	4	24
100	100'	20000	18	4	22
101	100'	21109	19	4	23
102	110'	25449	23	4	27
103	110'	28549	24	4	28

LEGEND

	DRAINAGE DIVIDE LINE
	DRAINAGE SUB-DIVIDE LINE
	STATE JURISDICTIONAL WETLAND LINE
	FLOOD LINE
	STATE JURISDICTIONAL WETLANDS
	UPLAND PRESERVATION/VEGETATIVE NATURAL BUFFER
	CONCRETE SIDEWALK BY SITE CONTRACTOR
	CONCRETE SIDEWALK BY BULDER
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	NEIGHBORHOOD PARK
	25' MINIMUM UPLAND BUFFER (CONTIGUOUS WETLANDS) 25' AVERAGE, 15' MINIMUM (ISOLATED WETLANDS)
	50' AVERAGE UPLAND BUFFER (INTRACOASTAL WETLANDS) NO LESS THAN 25'
	50' AVERAGE CLATTER BRIDGE BUFFER
	UPLAND PRESERVATION NON-FLUCCS
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION-DESIGN
	EXISTING SPOT ELEVATION-SURVEY
	EXISTING TOPOGRAPHY



PLANS PREPARED UNDER THE DIRECTION OF:

REVISIONS:

- 4/21/2021 REVISED GRADING/ LOT BLOCKS/ ADDED NOTES/ REVISED TREE TABLE
- 5/20/2022 ADDED SEWER SERVICE TABLE, ADDED AS-BUILT SEWER SERVICE LOCATIONS, UPDATED GRADING NOTES, MIN. FFE FOR NON-FILL LOTS.

EM NO. 18-155
DRAWN BY: ESW
DESIGNED BY: PPH
CHECKED BY: PPH
DATE: MARCH 2020

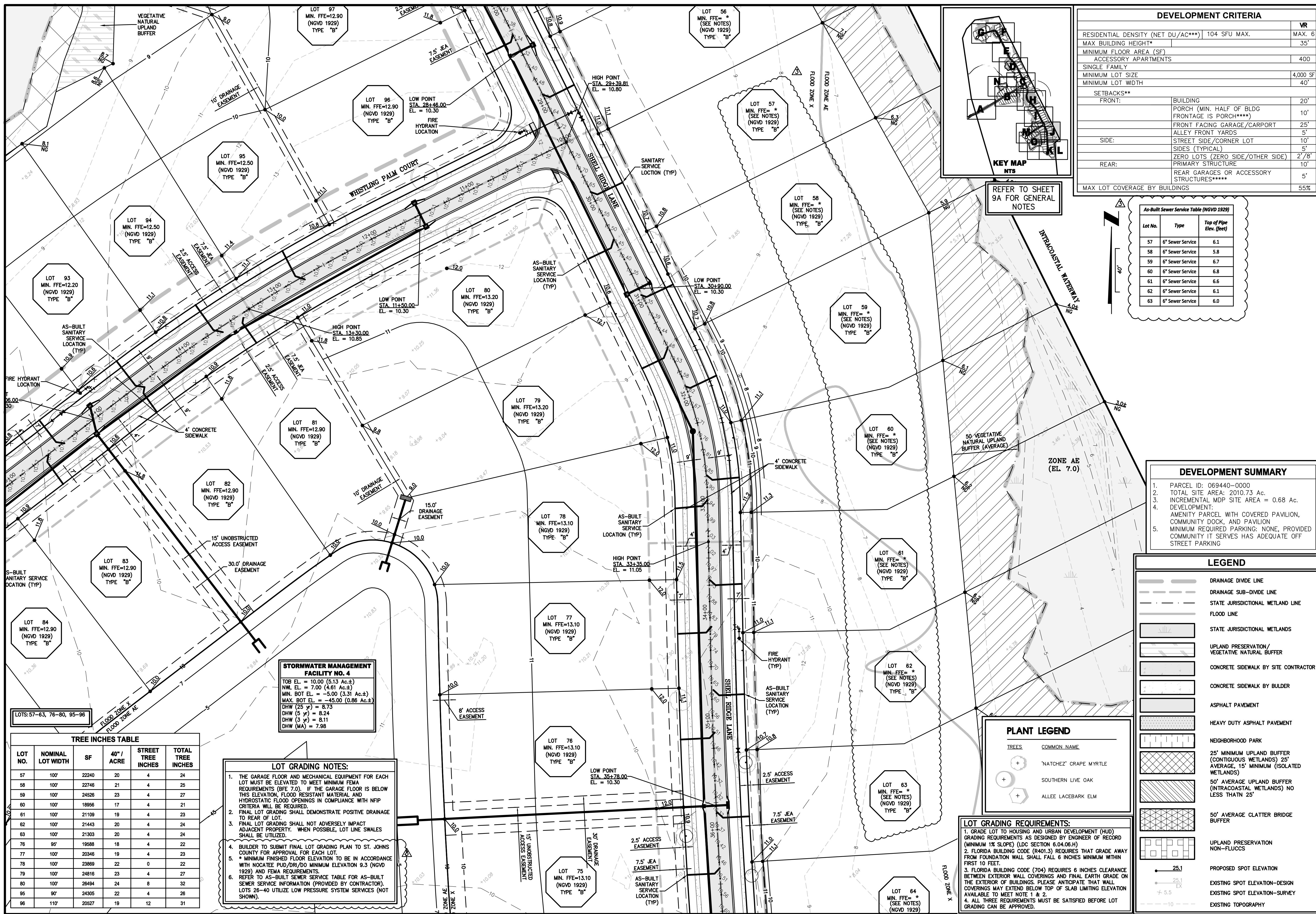
England-Thins & Miller, Inc.
10000 N. US Highway 1
Jacksonville, FL 32228
TEL: (904) 642-8890
FAX: (904) 646-3485
CA: 00002584 LC: 0000316

ETM
VISION • EXPERIENCE • RESULTS

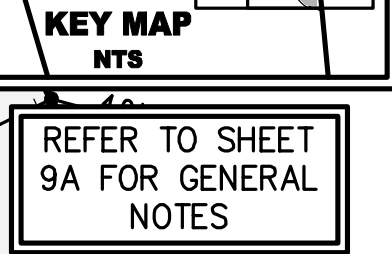
NEIGHBORHOOD SITE PLAN
RIVER LANDING (F.K.A. TMV PH6-HYDRY)
HYDRY COMPANY, LLC

DRAWING NUMBER
91

t: 2018\18-155\LandDev\Design\Plots\18-155-NG.dwg
PLOTTED: May 31, 2022 - 4:33 PM, BY: Beth Watkins
PAUL P. HUTCHINSON, PE
P.E. NUMBER: 59366



DEVELOPMENT CRITERIA		
RESIDENTIAL DENSITY (NET DU/AC***)	104 SFU MAX.	VR
MAX BUILDING HEIGHT*		MAX. 35'
MINIMUM FLOOR AREA (SF)		400
ACCESSORY APARTMENTS		400
SINGLE FAMILY		
MINIMUM LOT SIZE		4,000 SF
MINIMUM LOT WIDTH		40'
SETBACKS**		
FRONT:	BUILDING	20'
	PORCH (MIN. HALF OF BLDG FRONTAGE IS PORCH***)	10'
	FRONT FACING GARAGE/CARPORT	25'
	ALLEY FRONT YARDS	5'
SIDE:	STREET SIDE/CORNER LOT	10'
	SIDES (TYPICAL)	5'
	ZERO LOTS (ZERO SIDE/OTHER SIDE)	2/7'
REAR:	PRIMARY STRUCTURE	10'
	REAR GARAGES OR ACCESSORY STRUCTURES****	5'
MAX LOT COVERAGE BY BUILDINGS		
55%		



REFER TO SHEET 9A FOR GENERAL NOTES

Lot No.	Type	Top of Pipe Elev. (feet)
57	6" Sewer Service	6.1
58	6" Sewer Service	5.8
59	6" Sewer Service	6.7
60	6" Sewer Service	6.8
61	6" Sewer Service	6.6
62	6" Sewer Service	6.1
63	6" Sewer Service	6.0

DEVELOPMENT SUMMARY	
1.	PARCEL ID: 069440-0000
2.	TOTAL SITE AREA: 2010.73 Ac.
3.	INCREMENTAL MDP SITE AREA = 0.68 Ac.
4.	DEVELOPMENT: AMENITY PARCEL WITH COVERED PAVILION, COMMUNITY DOCK, AND PAVILION
5.	MINIMUM REQUIRED PARKING: NONE, PROVIDED COMMUNITY IT SERVES HAS ADEQUATE OFF STREET PARKING

LEGEND	
[Symbol]	DRAINAGE DIVIDE LINE
[Symbol]	DRAINAGE SUB-DIVIDE LINE
[Symbol]	STATE JURISDICTIONAL WETLAND LINE
[Symbol]	FLOOD LINE
[Symbol]	STATE JURISDICTIONAL WETLANDS
[Symbol]	UPLAND PRESERVATION / VEGETATIVE NATURAL BUFFER
[Symbol]	CONCRETE SIDEWALK BY SITE CONTRACTOR
[Symbol]	CONCRETE SIDEWALK BY BUILDER
[Symbol]	ASPHALT PAVEMENT
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	NEIGHBORHOOD PARK
[Symbol]	25' MINIMUM UPLAND BUFFER (CONTIGUOUS WETLANDS) 25' AVERAGE, 15' MINIMUM (ISOLATED WETLANDS)
[Symbol]	50' AVERAGE UPLAND BUFFER (INTRACOASTAL WETLANDS) NO LESS THAN 25'
[Symbol]	50' AVERAGE CLATTER BRIDGE BUFFER
[Symbol]	UPLAND PRESERVATION NON-FLUCCS
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	EXISTING SPOT ELEVATION-DESIGN
[Symbol]	EXISTING SPOT ELEVATION-SURVEY
[Symbol]	EXISTING TOPOGRAPHY

PLANT LEGEND	
TREES	COMMON NAME
[Symbol]	'NATCHEZ' GRAPE MYRTLE
[Symbol]	SOUTHERN LIVE OAK
[Symbol]	ALLEE LACEBARK ELM

LOT GRADING REQUIREMENTS:
 1. GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.06.H)
 2. FLORIDA BUILDING CODE (R401.3) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
 3. FLORIDA BUILDING CODE (704) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE ANTICIPATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
 4. ALL THREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

STORMWATER MANAGEMENT FACILITY NO. 4		
TOB EL.	= 10.00 (5.13 Ac.±)	
MIN. EL.	= 7.00 (4.61 Ac.±)	
MIN. BOT EL.	= -5.00 (3.31 Ac.±)	
MAX. BOT EL.	= -45.00 (0.86 Ac.±)	
DHW (25 yr)	= 8.73	
DHW (5 yr)	= 8.24	
DHW (3 yr)	= 8.11	
DHW (MA)	= 7.98	

LOT GRADING NOTES:
 1. THE GARAGE FLOOR AND MECHANICAL EQUIPMENT FOR EACH LOT MUST BE ELEVATED TO MEET MINIMUM FEMA REQUIREMENTS (BFE 7.0). IF THE GARAGE FLOOR IS BELOW THIS ELEVATION, FLOOD RESISTANT MATERIAL AND HYDROSTATIC FLOOD OPENINGS IN COMPLIANCE WITH NFIP CRITERIA WILL BE REQUIRED.
 2. FINAL LOT GRADING SHALL DEMONSTRATE POSITIVE DRAINAGE TO REAR OF LOT.
 3. FINAL LOT GRADING SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTY. WHEN POSSIBLE, LOT LINE SWALES SHALL BE UTILIZED.
 4. BUILDER TO SUBMIT FINAL LOT GRADING PLAN TO ST. JOHNS COUNTY FOR APPROVAL FOR EACH LOT.
 5. * MINIMUM FINISHED FLOOR ELEVATION TO BE IN ACCORDANCE WITH NOCATEE PUD/DRI/DO MINIMUM ELEVATION 9.3 (NGVD 1929) AND FEMA REQUIREMENTS.
 6. REFER TO AS-BUILT SEWER SERVICE TABLE FOR AS-BUILT SEWER SERVICE INFORMATION (PROVIDED BY CONTRACTOR). LOTS 26-40 UTILIZE LOW PRESSURE SYSTEM SERVICES (NOT SHOWN).

TREE INCHES TABLE					
LOT NO.	NOMINAL LOT WIDTH	SF	40' / ACRE	TOTAL TREE INCHES	
57	100'	2240	20	4	24
58	100'	22746	21	4	25
59	100'	24526	23	4	27
60	100'	18956	17	4	21
61	100'	21109	19	4	23
62	100'	21443	20	4	24
63	100'	21303	20	4	24
64	90'	19588	18	4	22
77	100'	20346	19	4	23
78	100'	23869	22	0	22
79	100'	24616	23	0	27
80	100'	26494	24	8	32
95	90'	24305	22	4	26
96	110'	20527	19	12	31

EM NO. 18-155
 DRAWN BY: ESW
 DESIGNED BY: PPH
 CHECKED BY: PPH
 DATE: MARCH 2020

Revisions:
 4/21/2021 REVISED GRADING/ LOT BLOCKS/ DIRECTION OF:
 5/20/2022 ADDED SEWER SERVICE TABLE, ADDED AS-BUILT SEWER SERVICE LOCATIONS, UPDATED GRADING NOTES, MIN. FFE FOR NON-FILL LOTS.

Paul P. Hutchinson, PE
 P.E. NUMBER: 59366

Plotted: May 31, 2022 - 4:34 PM, BY: Beth Watkins

England-Thins & Miller, Inc.
 10000 N. US Highway 1
 Jacksonville, FL 32258
 TEL: (904) 642-8890
 FAX: (904) 646-8485
 CA: 00002584 LC: 0000316

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 VISION • EXPERIENCE • RESULTS

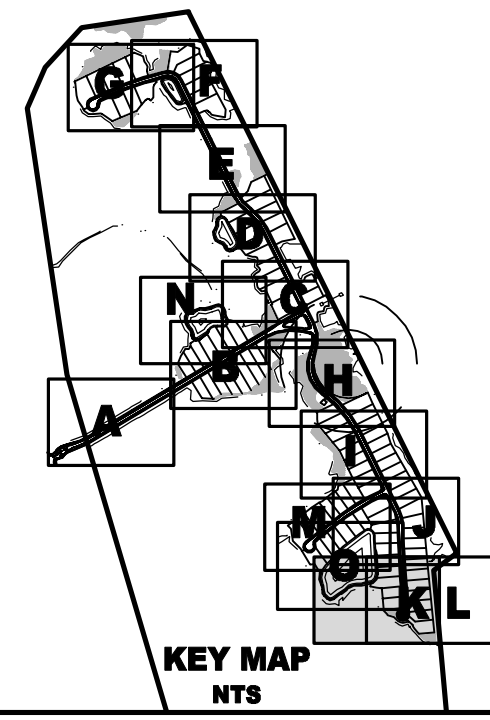
NEIGHBORHOOD SITE PLAN
RIVER LANDING (F.K.A. TMV PH6-HYDRY)
FOR HYDRY COMPANY, LLC

DRAWING NUMBER
9J

(NGVD 1929)

GENERAL NOTES:

- 1. ALL PROPOSED CORNER ELEVATIONS SHALL BE AS FOLLOWS:
A. BACK CORNER LOT ELEVATIONS ARE AT NATURAL GROUND UNLESS OTHERWISE NOTED OR WHERE FILLING IS REQUIRED TO OBTAIN 1% SLOPE.
2. CONTRACTOR TO REMOVE UNSUITABLE MATERIAL UNDER HOUSE PADS IN ACCORDANCE WITH SOILS REPORT.
3. ELEVATIONS FROM THE HIGH SIDE OF EACH LOT SHALL BE FROM FINISHED GRADE (TOP OF SOD ELEVATION).
4. MINIMUM FINISHED FLOOR ELEVATIONS DETERMINED BY 1 FOOT PLUS 0.1" (LENGTH SIDING EXTENDS BELOW FINISHED FLOOR). IF SIDING LENGTH EXTENDS GREATER THAN 0.1" BELOW FINISHED FLOOR, ADJUST FINISHED FLOOR ELEVATION UP ACCORDINGLY.
5. ANY LOT FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING ONE FOOT AND COMPACTED TO A MINIMUM DRY DENSITY OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180).
6. REFER TO LANDSCAPE SHEETS FOR MINIMUM LOT PLANTING AND REQUIRED PUD PLANTING.
7. REFER TO ARCHITECTURAL/ STRUCTURAL DRAWINGS FOR BUILDING STEM WALL DESIGN/ DETAILS.
8. NO PERMANENT STRUCTURE (I.E. BUILDING, ETC.) CAN BE PLACED WITHIN THE AREA BETWEEN THE RETAINING WALL AND DEMARCATION LINE. REFER TO STRUCTURAL PLANS FOR EXTENT OF REINFORCEMENT AND FINAL DEMARCATION LINE LOCATION.
9. CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN FOR ALL RETAINING WALLS FROM A LICENSED STRUCTURAL ENGINEER IN THE STATE OF FLORIDA.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS ASSOCIATED WITH RETAINING WALL. CONTRACTOR TO COORDINATE LOCATION PRIOR TO CONSTRUCTION. STRUCTURAL DESIGN TO BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
11. FINISHED BUILDING PAD EARTH GRADES TO BE THE FOUNDATION THICKNESS BELOW THE FOUNDATION FORM BOARDS.
12. SEE SHEET NUMBER 2 FOR GENERAL NOTES AND LEGEND.
13. FINISHED FLOOR ELEVATIONS GIVEN ON PLANS ARE MINIMUM. EXACT ELEVATION SHALL BE DETERMINED WHEN THE SIZE AND LOCATION OF BUILDING IS SET. (BY OTHERS)
14. "A" & "B" DENOTE STD. LOT TYPE GRADING (REFER TO GENERAL NOTES ON SHEET NO. 2). EXACT LOCATION OF SWALES SHALL BE DETERMINED WHEN THE SIZE AND LOCATION OF BUILDING IS SET (BY OTHERS).
15. BACK CORNERS OF LOTS ADJACENT TO PROJECT BOUNDARY OR BUFFERS ARE AT NATURAL GRADE ELEVATION (UNLESS OTHERWISE SHOWN).
16. FLOOD ZONE INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP FOR ST. JOHNS COUNTY, FLORIDA MAP NUMBER 121090095J DATED 12/07/2018. ENTIRE PROJECT BOUNDARY IS WITHIN ZONE AE SEE DWG. NO.7 - POST DEVELOPMENT MASTER DRAINAGE MAP (RIVER LANDING (F.K.A. TMV PH6-HYDRY)).
17. FINISHED FLOOR ELEVATIONS ARE PRESENTED IN NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD). THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD) IS APPROXIMATELY 1.06' LOWER IN ELEVATION. [I.E. ELEVATION 59.00 (NGVD) = 57.94 (NAVD)] ALL ELEVATIONS CONTAINED IN THESE PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD). REFER TO GENERAL NOTES (SHEET 2).
18. 70% OF NEWLY PLANTED TREES NEED TO BE CANOPY TREES. NO MORE THAN 50% OF NEWLY PLANTED TREES CAN BE OF THE SAME SPECIES.
19. IRRIGATION SOURCE SHALL BE REUSE WATER AND NOT INCLUDE ANY WATER WELLS.
20. ALL HOUSES LARGER 5,000 S.F. MUST HAVE SPRINKLER FIRE PROTECTION.
21. THE UPLAND BUFFER IS TO REMAIN A NATURAL AND UNDISTURBED VEGETATIVE BUFFER. NO ACTIVITY OR ACCESSORY USE IS TO TAKE PLACE IN THIS BUFFER.
22. ENCROACHMENTS INCLUDING EAVES, WITHIN ANY PUBLIC OR PRIVATE DRAINAGE UTILITY EASEMENT IS PROHIBITED SECTION 6.04.06.F.7.D.



STORMWATER MANAGEMENT FACILITY NO. 4
TOP EL = 10.00 (5.13 AC±)
NW EL = 7.00 (4.61 AC±)
MIN. BOT EL = -5.00 (3.31 AC±)
MAX. BOT EL = -45.00 (0.86 AC±)
DHW (25 yr) = 8.73
DHW (5 yr) = 8.24
DHW (3 yr) = 8.11
DHW (MA) = 7.98

TREE INCHES TABLE
LOT NO. NOMINAL LOT WIDTH SF 40' / ACRE STREET TREE INCHES TOTAL TREE INCHES
64 100 21746 20 4 24
65 100 17850 16 4 20
66 100 17846 16 4 20
67 100 14990 14 4 18
68 100 14980 14 4 18
69 100 16517 15 4 19
70 110 21195 19 0 19
71 110 18802 17 4 21
72 100 17221 16 4 20
73 100 23907 22 4 26
74 100 19975 18 4 22
75 90 18897 17 4 21

As-Built Sewer Service Table (NGVD 1929)
Lot No. Type Top of Pipe Elev. (feet)
64 6" Sewer Service 6.9
65 6" Sewer Service 6.9
66 6" Sewer Service 6.9

DEVELOPMENT CRITERIA
RESIDENTIAL DENSITY (NET DU/AC***) 104 SFU MAX. VR MAX. 6
MAX BUILDING HEIGHT* 35'
MINIMUM FLOOR AREA (SF) ACCESSORY APARTMENTS 400
SINGLE FAMILY MINIMUM LOT SIZE 4,000 SF
MINIMUM LOT WIDTH 40'
SETBACKS** FRONT: BUILDING 20', PORCH (MIN. HALF OF BLDG FRONTAGE IS PORCH****) 10', FRONT FACING GARAGE/CARPORT 25', ALLEY FRONT YARDS 5', SIDE: STREET SIDE/CORNER LOT 10', SIDES (TYPICAL) 5', ZERO LOTS (ZERO SIDE/OTHER SIDE) 2'8", REAR: PRIMARY STRUCTURE 10', REAR GARAGES OR ACCESSORY STRUCTURES***** 5', MAX LOT COVERAGE BY BUILDINGS 55%

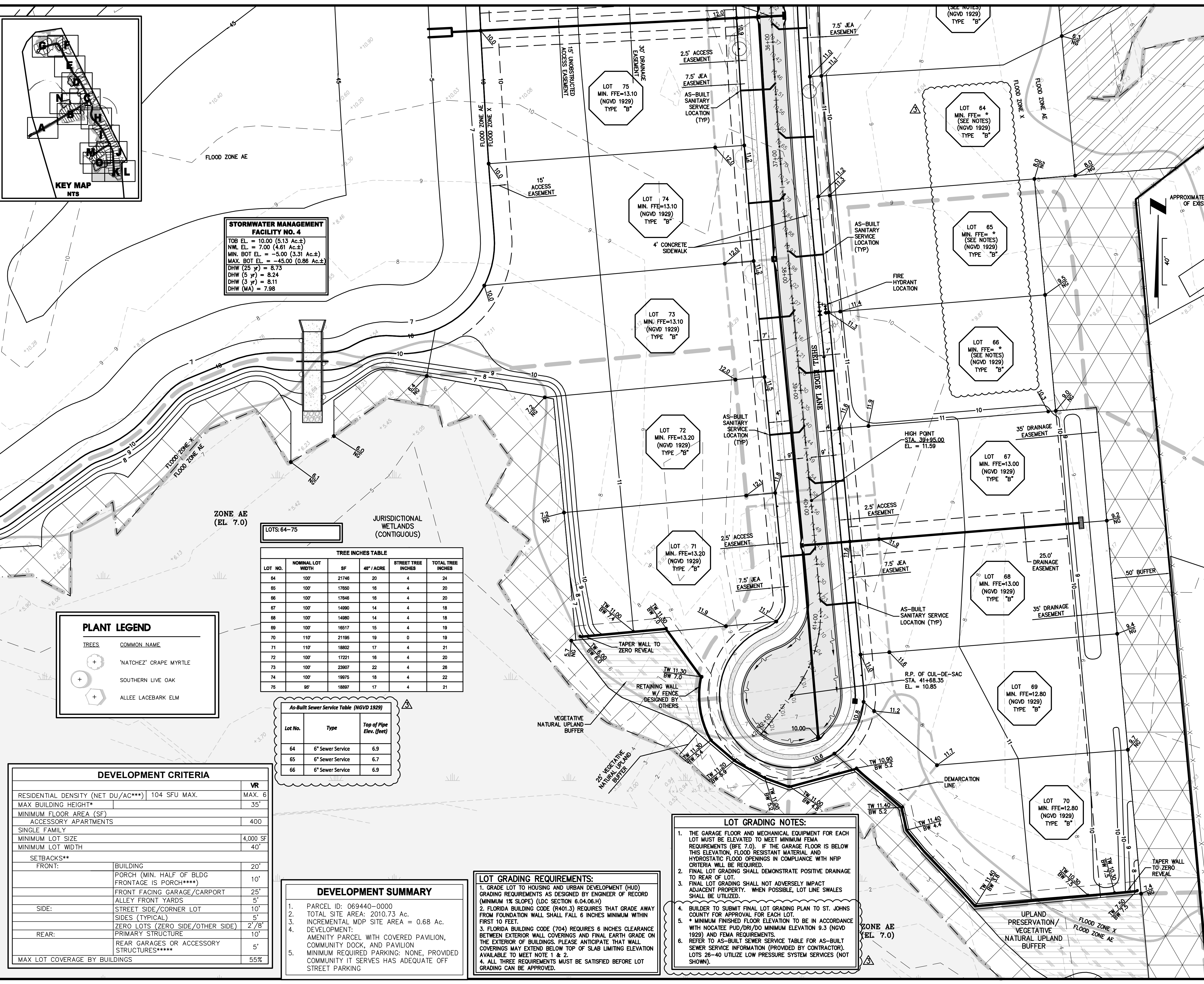
LEGEND
DRAINAGE DIVIDE LINE
DRAINAGE SUB-DIVIDE LINE
STATE JURISDICTIONAL WETLAND LINE
FLOOD LINE
STATE JURISDICTIONAL WETLANDS
UPLAND PRESERVATION/VEGETATIVE NATURAL BUFFER
CONCRETE SIDEWALK BY SITE CONTRACTOR
CONCRETE SIDEWALK BY BUILDER
ASPHALT PAVEMENT
HEAVY DUTY ASPHALT PAVEMENT
NEIGHBORHOOD PARK
25' MINIMUM UPLAND BUFFER (CONTIGUOUS WETLANDS) 25' AVERAGE, 15' MINIMUM (ISOLATED WETLANDS)
50' AVERAGE UPLAND BUFFER (INTRACOASTAL WETLANDS) NO LESS THAN 25'
50' AVERAGE CLATTER BRIDGE BUFFER
UPLAND PRESERVATION NON-FLUCCS
PROPOSED SPOT ELEVATION
EXISTING SPOT ELEVATION-DESIGN
EXISTING SPOT ELEVATION-SURVEY
EXISTING TOPOGRAPHY

PLANT LEGEND
TREES COMMON NAME
+ 'NATCHEZ' GRAPE MYRTLE
+ SOUTHERN LIVE OAK
+ ALLEE LACEBARK ELM

DEVELOPMENT SUMMARY
1. PARCEL ID: 069440-0000
2. TOTAL SITE AREA: 2010.73 Ac.
3. INCREMENTAL MDP SITE AREA = 0.68 Ac.
4. DEVELOPMENT: AMENITY PARCEL WITH COVERED PAVILION, COMMUNITY DOCK, AND PAVILION
5. MINIMUM REQUIRED PARKING: NONE, PROVIDED COMMUNITY IT SERVES HAS ADEQUATE OFF STREET PARKING

LOT GRADING REQUIREMENTS:
1. GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.06.H)
2. FLORIDA BUILDING CODE (R401.3) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
3. FLORIDA BUILDING CODE (704) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE ANTICIPATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
4. ALL THREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

LOT GRADING NOTES:
1. THE GARAGE FLOOR AND MECHANICAL EQUIPMENT FOR EACH LOT MUST BE ELEVATED TO MEET MINIMUM FEMA REQUIREMENTS (BFE 7.0). IF THE GARAGE FLOOR IS BELOW THIS ELEVATION, FLOOD RESISTANT MATERIAL AND HYDROSTATIC FLOOD OPENINGS IN COMPLIANCE WITH NFIP CRITERIA WILL BE REQUIRED.
2. FINAL LOT GRADING SHALL DEMONSTRATE POSITIVE DRAINAGE TO REAR OF LOT.
3. FINAL LOT GRADING SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTY. WHEN POSSIBLE, LOT LINE SWALES SHALL BE UTILIZED.
4. BUILDER TO SUBMIT FINAL LOT GRADING PLAN TO ST. JOHNS COUNTY FOR APPROVAL FOR EACH LOT.
5. MINIMUM FINISHED FLOOR ELEVATION TO BE IN ACCORDANCE WITH NOCATEE PUD/DR/DO MINIMUM ELEVATION 9.3 (NGVD 1929) AND FEMA REQUIREMENTS.
6. REFER TO AS-BUILT SEWER SERVICE TABLE FOR AS-BUILT SEWER SERVICE INFORMATION (PROVIDED BY CONTRACTOR). LOTS 26-40 UTILIZE LOW PRESSURE SYSTEM SERVICES (NOT SHOWN).



NEIGHBORHOOD SITE PLAN
RIVER LANDING (F.K.A. TMV PH6-HYDRY)
HYDRY COMPANY, LLC
DRAWING NUMBER 9K
REVISIONS: 7/17/2020 REVISED LOT GRADING, LOT BLOCKS/ADDED NOTES/REVISED GRADING; 4/21/2021 REVISED GRADING/ADDED NOTES/REVISED GRADING; 5/05/2022 ADDED SEWER SERVICE TABLE, ADDED AS-BUILT SEWER SERVICE LOCATIONS, UPDATED GRADING NOTES; MIN. FFE FOR NON-FILL LOTS.
ETM No. 18-155
DRAWN BY: ESW
DESIGNED BY: PPH
CHECKED BY: PPH
DATE: MARCH 2020
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